



**Fresno Council  
of Governments**

# **Measure C TOD Program Cycle IV**

## **Call for Projects Application Packet**

**January 7, 2015**

**2035 Tulare Street, Suite 201  
Fresno, CA 93721  
Tel: 559-233-4148  
Fax: 559-233-9645**

## **Overview**

The TOD program was created in the 2006 Measure C Extension Plan. As recommended by the Measure C legislation, a TOD Technical Advisory Committee developed guidelines to provide guidance on the implementation of the TOD program. The TOD Program Guidelines were approved by the Fresno COG Policy Board and the Fresno Transportation Authority (FCTA) Board. A scoring committee membership was defined by the TOD Technical Advisory Committee and also approved by both Boards.

The TOD program will generate \$17.4 million during the 20-year lifespan of the Measure C program based on the estimation in December 2012. It is estimated that the TOD program is accruing approximately \$700,000 annually. There is \$888,800 available in the program as of December 31, 2014. Multi-year projects will be accepted contingent on the approval of the revised TOD Program Guidelines.

Please refer to the TOD program Guidelines for project eligibility and scoring criteria.

## **Timeline**

January 7, 2015	Call for projects open
February 20, 2015	Application due
March 10, 2015	TOD scoring committee meeting
April 10, 2015	TTC/PAC approval of the selected project(s)
April 30, 2015	Fresno COG Policy Board approval of the selected project(s)
June 10, 2015	FCTA Board approval of the selected projects(s)

## **Contact Information**

Please submit all applications by 4:30 p.m. on February 20, 2015 and mail all correspondence to:

Kristine Cai  
Fresno Council of Governments  
2035 Tulare Street, Suite 201  
Fresno, CA 93721

## Multi -Year Capital Improvement Project Application

Project Title: **Met Block Development Offsite Improvements**

Sponsoring Jurisdiction: **City of Fresno**

### Application Checklist:

- Twelve hard copies and 1 CD of the complete application
- Completed application form
- Board/Council resolution authorizing project application
- Vicinity maps showing project locations, entitled land developments related to the project, and local/regional streets, bicycle, transit and highway facilities within and near the project area
- Documentation of support for the project from community groups or individuals (highly encouraged)
- Aerial photo and/or other photographs depicting existing conditions in the project area

### Person Authorized to Submit Application:

I certify that I have reviewed the TOD Capital Improvement Projects Program Guidelines and the information submitted in this application is accurate and in accordance with the guidelines.

Name: Bruce Rudd

Title: City Manager



Signature:

Date: February 20, 201~~4~~5

## **Project Summary**

1. Project Title

**Met Block Development Offsite Improvements**

2. Project description: briefly describe the project goal, scope, and elements to be funded by the Measure C TOD program.

**This grant will fund offsite street construction, utility relocation, and street tree improvements necessary in connection with the development of a 80-unit transit-oriented residential project at the corner of Van Ness and Stanislaus Streets in Downtown Fresno.**

3. Total project cost

**\$229,799**

4. Total TOD fund request

**\$108,457**

5. Sponsoring jurisdiction

**City of Fresno**

6. Primary contact person

**Lupe Perez**

7. Title

**Downtown Revitalization Manager**

8. Address

**2600 Fresno Street  
Fresno, CA 93721**

9. Phone

**(559) 621-8371**

10. E-mail

**[Lupe.Perez@Fresno.gov](mailto:Lupe.Perez@Fresno.gov)**

11. Other project partners

**Granville Homes, Inc.**

## Capital Improvement Project Description

**1. Introduction.** *Please provide a description of project objectives, setting, and relationship of the proposed project to existing and planned infrastructures in the project area.*

The affected public right-of-way is along Fulton, Calaveras, and Stanislaus Streets in Downtown Fresno. Infrastructure in these locations is not adequate to serve new housing development.

A housing development is proposed at the site in the middle of these improvements, as described below. These capital projects will complement the traffic-calming streetscape improvements currently under construction along the length of Broadway.

**2. Nexus to Transit Oriented Development.** *Describe the nexus of the proposed project to transit oriented development. Through an existing policy or an adopted plan, explain how the project will boost transit ridership, encourage biking & walking and support a livable and viable transit oriented community.*

A proposed 80-unit residential project by Granville Homes is proposed to be located at Van Ness and Stanislaus Streets, on a site surrounded by the proposed capital improvements. The site is 2.12 acres of land, yielding a housing density of 37.7 units per acre.

By virtue of the existing built density, as well as the highly urbanized character of the area, development in Downtown Fresno is intrinsically transit-oriented and pedestrian- and bicycle-friendly. The non-reliance on a private automobile for everyday trips has already led some downtown residents to not own cars. The resulting benefit to transit ridership is automatic.

**3. Land Use Characteristics of the Project Area.** *Please provide demographic and business profile of the project area. Identify existing and planned residential density, employment intensity and industrial mixes if any in the project area. Please also identify, if applicable, any affordable housing that the project supports.*

As a part of creating the Fulton Corridor Specific Plan (FCSP), the City of Fresno completed a comprehensive market analysis on the existing employment and housing market in the Fulton Corridor, as well as the projected demand for housing and office/retail in the area (available in full at [http://fresnodowntownplans.com/media/files/FCSP\\_Final\\_Market\\_Analysis\\_Report.pdf](http://fresnodowntownplans.com/media/files/FCSP_Final_Market_Analysis_Report.pdf)). As the summary of the data provided below indicates, there are almost 32,000 existing jobs already situated in the Fulton Corridor. The housing market demand is estimated to be up to 7,000 units over the next 20 years. There is the potential for 1.2 million to 1.8

million sf of new office space, and a demand for another 1.3 million to 1.6 million sf of new regional retail/entertainment in the Fulton Corridor.

Existing employment .....	31,597 jobs
Housing market demand, 2010–2030 .....	4–7,000 units
New office space market potential, 2010–2035 .....	1.2–1.8 million s.f.
New regional retail/entertainment market potential, 2010–2035 .....	1.3–1.6 million s.f.

In addition to the complete market analysis, the following table identifies recently completed and proposed housing projects.

Hotel Fresno* .....	79 units	0.52 acres	152.9 units/acre
Pacific SW Bldg. (max. units) ..	60	0.40	150.0
Droge Building* .....	45	0.38	118.4
Helm Building (max. units) .....	54	0.52	103.8
JC Penney Building .....	66	0.57	115.8
Vagabond + H St Lofts .....	64	0.72	88.5
Pearl Building (ex. + new) .....	14	0.17	82.4
Mayflower Lofts* .....	18	0.23	78.3
Broadway/Levinson .....	52	1.29	40.3
Fulton Village* .....	45	1.19	37.8
Met Block* .....	80	2.12	37.7
Iron Bird Lofts* .....	80	2.32	34.5
Broadway Lofts .....	23	0.69	33.3
1612 Fulton Street .....	30	0.97	30.9
<hr/>			
Total of the above .....	710 units	12.09 acres	58.7 units/acre

*Those projects marked with an \* contain a portion of units that are affordable to income-restricted residents.*

**4. Transportation Characteristics of the Project Area.** *Please identify the distance of the proposed project to the nearest BRT station. Describe the transit, bike and walk environment in the project area, and explain, if applicable, how the proposed project will contribute to providing multi-modal transportation choice to people who live or work in the area.*

With its focus on Downtown, the City of Fresno is aggressively working to enhance the transit, biking and walking environment in the project area.

BRT stations are planned to be located at the corner of Van Ness Avenue and Mariposa Mall (the current site of the central FAX bus depot), and at Blackstone and Divisadero. The proposed High-Speed Rail station will be located at H and Mariposa Streets. The proposed development which the applicant project will incentivize is within biking distance, if not walking distance, of these planned transit facilities. The development is also within three blocks of three existing FAX bus lines.

Two blocks to the west, the FCSP calls for a linear park and trail system along the west side of H Street stretching through Downtown for bicycles and pedestrians, as well as outdoor recreation. This project is envisioned but not yet funded.

More than any infrastructure project for its own sake, increasing the level of development in the Cultural Arts District that is densely built, as the applicant project will support, will itself make the area more walkable and increase transit use.

**5. Urban Design & Parking Policy.** *Describe the existing or planned design characteristics or policies in the project area. Explain, if applicable, how the project will contribute to creating a positive image of the surrounding areas. Describe, if any, existing or planned parking policies that are transit friendly.*

The project site is vacant and is somewhat bisected by an existing older commercial building (the “Theatre 3 building”) that is not a part of the project. All of the new buildings will be three stories tall, consistent with other newer transit-oriented development in the area. Adequate garage and open parking will be provided on the development site and additional on-street parking will be available in several locations close to the project site.

The units will be constructed, owned and managed as rental units by an affiliate of Granville Homes, Inc. Granville owns and manages several hundred units in the area and also owns and manages retail and office space in the area.

In 2013 the City received a Conditional Use Permit application (C-13-137) to allow construction on the site, and has received two Tentative Tract Maps (No. 6059 and 6060) for the project. Two public hearings for the project occurred on April 28, 2014 a workshop was held for the Historic Preservation Commission, and to some extent their comments were incorporated into the elevations. On May 21, 2014 the Planning Commission reviewed and approved the project.

The project is also anticipated to receive incentive funding through a waiver of some or all City impact fees through the City’s Measure “C”-funded Downtown Development Incentive Program.

**6. Green Building.** *Please describe, if applicable, any green building element in the project.*

For all downtown projects, the greatest lifecycle environmental benefit compared to the prevailing mode of housing development in the region results from a downtown project’s central, walkable location and the emissions that are avoided by not requiring separate automobile trips for work, shopping, and entertainment from a distant suburban home.

In addition, GV Urban projects, including the proposed development that is the subject of this application, incorporate a number of resource conservation technologies such as rooftop solar panels and ductless air conditioning. On other, similar downtown projects, the developer has advertised the possibility of reducing residents’ energy bills to \$0.

**7. Quality of Project and Additional Information.** *Describe the level of community support for this project. Describe how the proposed project will address the issues in the community, how the project will help create a sense of place, and potential economic impact such as attracting private investment in the project area, etc. Please also identify any potential obstacles to the successful completion of the entire project.*

The proposed 80-unit development achieves a housing density of 37.7 units per acre, and qualifies for a waiver of some or all City impact fees through the City’s Measure “C”-funded Downtown Development Incentive Program.

Granville’s previous Downtown housing developments have earned not only community support, but market support, in the form of occupancy rates above 90%. These developments demonstrate that there is a demand for urban housing in the region.

**8. Project Schedule and Scope of Work.** *Please outline the scope of work for this project. Please briefly describe deliverables and anticipated completion dates for each deliverables. Please also provide estimates of project expenses funded by the TOD program, and project revenue for the entire project.*

The proposed capital projects are necessary for construction of the housing development on the adjacent site. This development has approved conditional use permits, and construction is expected to proceed very soon. Capital projects funded by this application are anticipated to begin within a year of approval, and be completed within two years.

Details on the proposed work are provided with the developer’s attached letter of support (Exhibit C).

***Project expenses (TOD fund)***

<i>Item</i>	<i>Amount</i>
<i>Engineering</i>	0
<i>Environmental Documentation</i>	0
<i>Right of Way</i>	0
<i>Construction</i>	\$229,799

***Project Revenue (all sources)***

<i>Source</i>	<i>Year</i>				
	<i>Year 1 (\$)</i>	<i>Year 2 (\$)</i>	<i>Year 3 (\$)</i>	<i>Year 4 (\$)</i>	<i>Year 5 (\$)</i>
<i>TOD</i>	121,342	108,457			
<i>Local</i>					
<i>State</i>					
<i>Federal</i>					
<i>Private</i>					
<i>Total</i>	121,342	108,457			



**Exhibit A**  
**City Council Resolution No. 2014-37**  
**Effective 02/27/2014**



RESOLUTION NO. 2014-37

A RESOLUTION OF THE COUNCIL OF THE CITY OF FRESNO, CALIFORNIA, AUTHORIZING THE SUBMISSION OF APPLICATIONS FOR GRANTS OF \$533,457 FOR CAPITAL IMPROVEMENT PROJECTS IN THE CULTURAL ARTS DISTRICT IN DOWNTOWN FRESNO UNDER THE FRESNO COUNTY MEASURE C TRANSIT ORIENTED DEVELOPMENT (TOD) PROGRAM AND AUTHORIZING THE EXECUTION OF APPLICATION-RELATED DOCUMENTS BY THE CITY MANAGER OR DESIGNEE

WHEREAS, the Transit Oriented Development (TOD) Program was created in the 2006 Measure C Extension Plan;

WHEREAS, the goals of the Measure C Transit Oriented Infrastructure for In-Fill are to support community-based transit projects that are developed through an inclusive planning process with broad private-public partnerships and outreach; improve the range of transportation choices by supporting transit facilities and improving links between facilities and activity nodes; and support well-designed, high-density housing and mixed uses near transit;

WHEREAS, TOD guidelines call for the applicant's governing body to certify by resolution its authorization to apply for funding;

WHEREAS, the projects described below will enable transit-oriented housing and mixed use development in Downtown Fresno ("City") and accomplishing such projects with grant funding acts an incentive by relieving development projects of the costs involved; and



WHEREAS, staff will return to the City Council for consideration of an agreement with the Fresno County Transportation Authority to carry out those projects selected for award, and the City is not obligated to utilize the funding proposed unless such an agreement is approved.

NOW, THEREFORE, BE IT RESOLVED THAT THE CITY COUNCIL OF THE CITY OF FRESNO HEREBY:

1. Approves the filing of applications to fund the following proposed projects, consistent with constitutional and local law requirements and this resolution, for a total of \$533,457:

- A. Offsite improvements for the *Met block* development.....229,799
- B. Offsite improvements for development on Broadway between Calaveras and San Joaquin Streets.....303,658

2. Certifies that the City has reviewed, understands and, to the extent consistent with all constitutional and local law requirements and this resolution, agrees to the provisions contained in the applications and program guidelines, manual and related documents.

3. Certifies that the City will have sufficient funds to operate and maintain the projects consistent with the grant requirements, or will secure the resources to do so.

4. Certifies that the City will comply with any laws and regulations including, but not limited to, the California Environmental Quality Act (CEQA), legal requirements for building codes, health and safety codes, disabled access laws, and, that prior to commencement of construction, all applicable permits will have been obtained.



5. Certifies that the City will work towards the Measure C TOD Priorities intended to support livable, viable and sustainable transit oriented healthy communities that promote walking, biking, and the use of public transit and reduce private vehicle dependence.

6. Appoints and authorizes the City Manager or his designee as the agent for the City of Fresno to execute and submit all application documents, materials and certifications and so on which may be necessary in pursuit hereof, subject to prior approval as to form by the City Attorney's Office.

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\* \* \* \* \*

### CLERK'S CERTIFICATION

STATE OF CALIFORNIA            )  
COUNTY OF FRESNO            )ss.  
CITY OF FRESNO                )

I, YVONNE SPENCE, City Clerk of the City of Fresno, certify that the foregoing resolution was adopted by the Council of the City of Fresno, California, at a regular meeting thereof, held on the 27<sup>th</sup> day of February, 2014.

AYES        : Baines, Brand, Caprioglio, Quintero, Xiong, Brandau  
NOES        : None  
ABSENT     : None  
ABSTAIN    : None  
RECUSED   : Olivier

YVONNE SPENCE, CMC  
City Clerk

BY: *Yvonne Spence*  
Deputy

APPROVED AS TO FORM:  
DOUGLAS T. SLOAN  
City Attorney

By: *BC* *3/4/14*  
Brandon M. Collet    Date  
Deputy

BMC:prn [64003bmc/reso] 02-18-14

**Exhibit B**

**Project Vicinity Map**



# Exhibit B: Project Vicinity Map



**Exhibit C**

**Letters of Support and Project Details**





Passion, Commitment & Innovation *Excellence*

February 18, 2014

Kristine Cai  
Fresno Council of Governments  
2035 Tulare Street  
Fresno, CA 93721

**Subject: Proposed TOD Funding Request**

Dear Ms. Cai,

The purpose of this letter is to indicate our support for the City of Fresno's 'TOD' funding application. Specifically, the City's request for \$229,799 for the installation of needed public infrastructure improvements in the vicinity of the proposed 'Met Project', located in the Cultural Arts Area.

These improvements will help to implement the development of the 'Met Project', a TOD project with 80 units (16 affordable). All of the improvements identified on the attached exhibit will be located in the public right a way of the streets adjacent to the proposed project.

Please feel free to contact me if you have any questions.

Thank you,

Jeff Roberts



(559) 440-8308

**Address:** 1396 West Herndon Ave., Ste 101 Fresno, CA 93711

**Corporate:** 559.436.0900 **Homeowner Services:** 559.268.2000 **Sales:** 559.445.9000 **Web:** [gvhomes.com](http://gvhomes.com)

Sheet 1 of 1  
MET

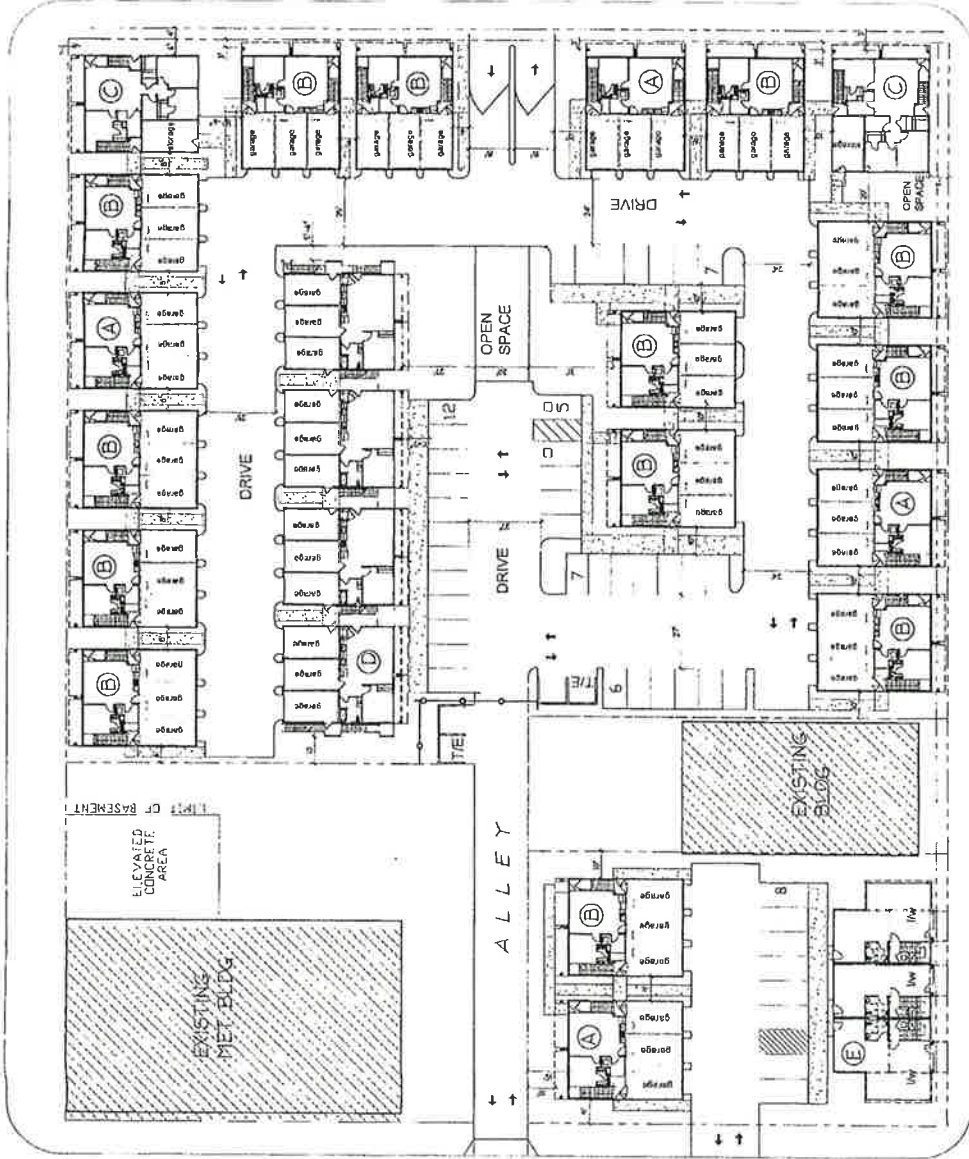
GARY G. GIANNETTA  
CONSULTING CIVIL ENGINEER  
1119 "S" STREET  
FRESNO, CA 93721  
(559) 264-3590  
FAX (559) 264-0696

COST ESTIMATE  
MET PROJECT PUBLIC IMPROVEMENTS  
CALAVERAS STREET, FULTON STREET AND STANISLAUS STREET

December 23, 2013

ITEM DESCRIPTION	QUANTITY	\$ UNIT COST	\$ EXTENSION
<b><u>OFFSITE STREET CONSTRUCTION</u></b>			
1. Mobilization		LUMP SUM	\$ 3,000.00
2. Clearing and Grubbing		LUMP SUM	4,000.00
3. Traffic Control		LUMP SUM	6,000.00
4. Excavation and Grading		LUMP SUM	5,000.00
5. Curb and Gutter	925 LF	\$ 14.00	12,950.00
6. Sidewalk	8,110 SF	4.50	36,495.00
7. Return w/Ramp	2 EA	2,200.00	4,400.00
8. Driveway Approach	1 Ea	1,600.00	1,600.00
9. Alley Approach	1 Ea	2,200.00	2,200.00
10. Asphalt Pavement	3,950 SF	7.00	27,650.00
	<b>TOTAL STREET CONSTRUCTION</b>		<b>\$ 103,295.00</b>
<b><u>MISCELLANEOUS</u></b>			
1. Adjust P.G.&E Vaults to Grade	2 Ea	\$5,000.00	\$ 10,000.00
2. Underground Overhead (Calaveras)		Lump Sum	75,000.00
3. Street Trees and Irrigation	30 Ea	250.00	7,500.00
	<b>TOTAL MISCELLANEOUS</b>		<b>\$ 92,500.00</b>
<b><u>FEES AND CHARGES</u></b>			
1. Project Engineer			\$ 11,274.00
2. Soils Engineer			3,000.00
3. Plan Check and Inspection			10,335.00
4. Contract Administration and Supervision			9,395.00
	<b>TOTAL FEES AND CHARGES</b>		<b>\$ 34,004.00</b>
<b>SUMMARY</b>			
STREET CONSTRUCTION			\$ 103,295.00
MISCELLANEOUS			92,500.00
FEES AND CHARGES			34,004.00
	<b>TOTAL OFFSITE PUBLIC IMPROVEMENT COST</b>		<b>\$ 229,799.00</b>

VANNESS STREET



STANISLAUS STREET

FULTON STREET



PROPOSED MET SITE PLAN

scheme 28 - 06.10.13

scale: 1"=50'-0"

PROJECT DATA:

**BUILDING 'A' - TRIPLEX (4 Bldgs)**  
 2 STORY BLDG  
 Unit 'A' = 1st flr = 1br/1ba = 645sf  
 Unit 'B' = 2nd flr = 1br/1ba = 789sf (x.2)  
 Total Building Area = 2,223 sf per bldg  
 2223 x 4 Bldgs = 8,892 sf

**BUILDING 'B' - TRIPLEX (13 bldgs)**  
 2 STORY BLDG  
 Unit 'A' = 1st flr = 1br/1ba = 645sf  
 Unit 'C' = 2nd flr = 2br/2ba = 1050sf  
 Unit 'D' = 2nd flr = Studio = 528sf  
 Total Building Area = 2,223 sf per bldg  
 2223 x 13 Bldgs = 28,992 sf

**BUILDING 'C' - TRIPLEX (2 Bldg)**  
 2 STORY BLDG  
 Unit 'E' = 1st flr = 3br/2ba = 1133sf  
 Unit 'B' = 2nd flr = 1br/1ba = 789sf (x.2)  
 Total Building Area = 2,711 sf per bldg  
 2711 x 2 Bldgs = 5,422 sf

**BUILDING 'D' - TRIPLEX (1 Bldg)**  
 3 STORY BLDG  
 Unit 'F' = 1st flr = 1br/1ba = 740sf  
 740sf x 4 = 2960 sf  
 Unit 'G' = 2nd flr/3rd = 2br/2ba = 999sf  
 999sf x 8 = 7992 sf  
 Unit 'H' = 2nd flr/3rd = studio = 477sf  
 477sf x 8 = 3816 sf  
 Total Building Area = 14,758 sf per bldg

**BUILDING 'E' - CORNER LIVE WORK**  
 3 STORY BLDG (1 Bldg)  
 Corner unit  
 2br/2ba = 1418 sf ea  
 Office space = 848 sf  
 Total = 2,266 sf  
 Middle unit  
 2br/2ba = 1414 sf ea  
 Office space = 608 sf  
 Total per unit = 2022 sf  
 End unit  
 2br/2ba = 1418 sf ea  
 Office space = 848 sf  
 Total per unit = 2,266 sf  
 Total bldg area = 6,554 sf

Total Bedroom Mix:

1br/1ba (flats) = 59 d.u. (61%)  
 2br/2ba (flats) = 8 d.u. (22%)  
 2br/2 1/2ba (l/w) = 3 d.u. (4%)  
 3br/2ba (1st flr) = 2 d.u. (3%)  
 Studio (flats) = 8 d.u. (10%)  
 Total = 80 dwelling units

Total Parking

open stalls = 46  
 1 car Garages = 63  
 total parking = 109

Total bedroom count = 95  
 equals 1.14 parking stall per bedroom  
 ratio



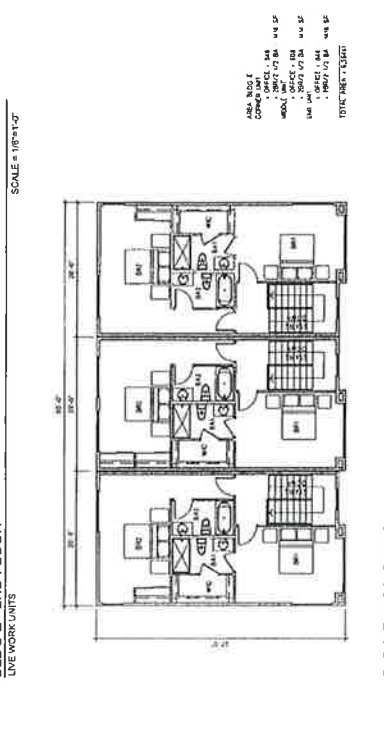
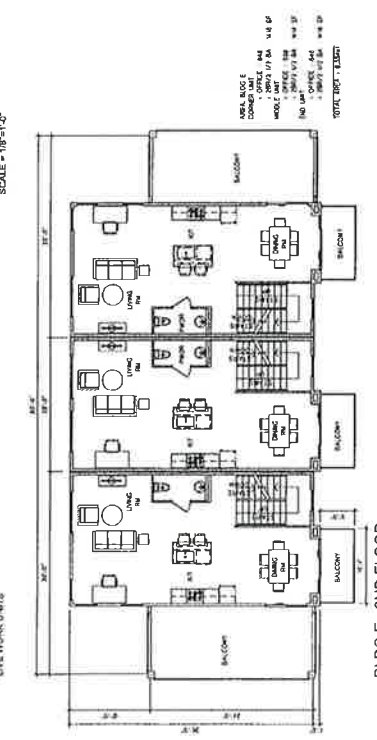
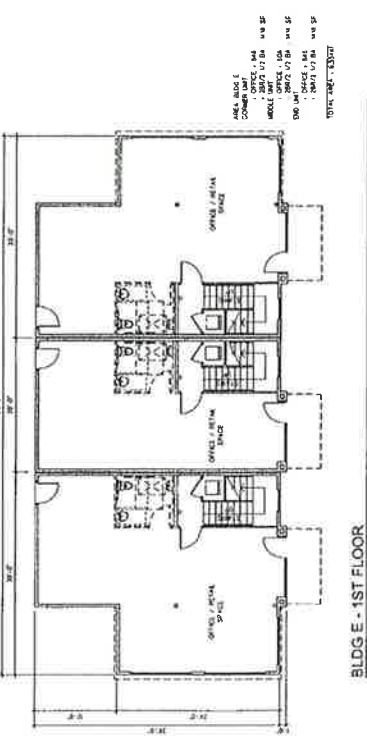
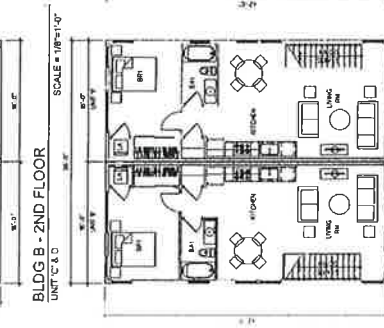
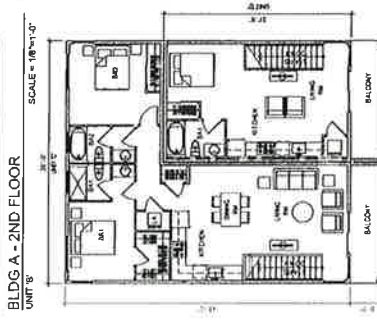
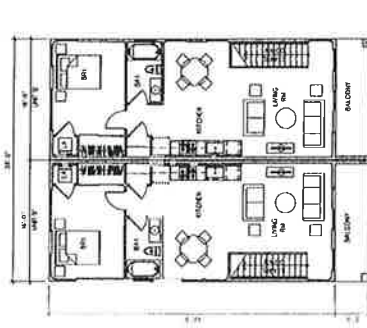
Granville Homes is a division of Granite Construction Company, Inc. All construction shall be in accordance with the applicable building codes and standards of the City of Fresno, California. The plans shall be used for the construction of the project shown hereon. No other use shall be permitted without the written consent of Granite Construction Company, Inc.

**THE MET**  
 PROPOSED MULTI-FAMILY PROJECT  
 STANISLAUS STREET, FRESNO, CA

**BUILDING PLANS**  
 BLDG A  
 BLDG B  
 BLDG C

DATE	DESCRIPTION
10/17/13	ISSUE FOR PERMIT
02/28/13	ISSUE FOR PERMIT
01/15/13	ISSUE FOR PERMIT
01/15/13	ISSUE FOR PERMIT

**A1**



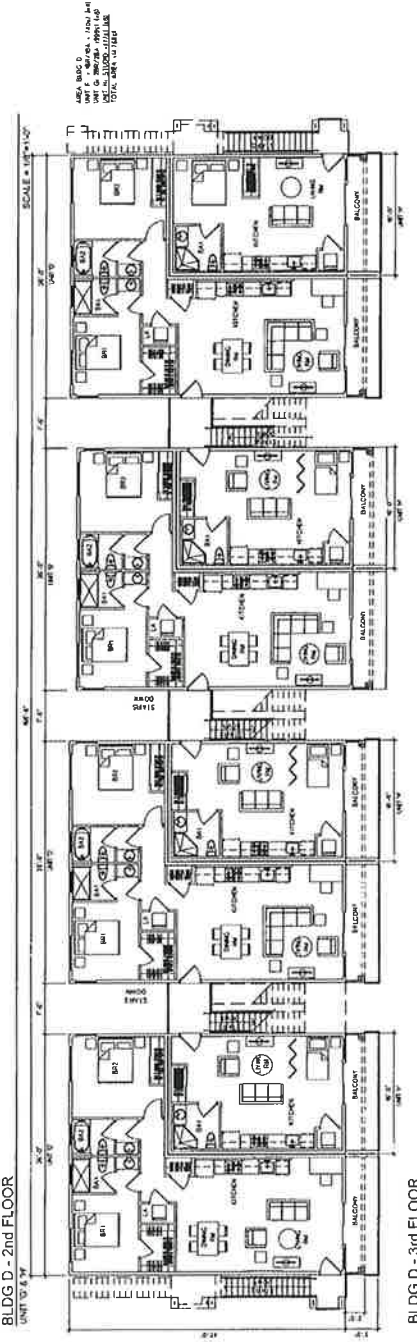
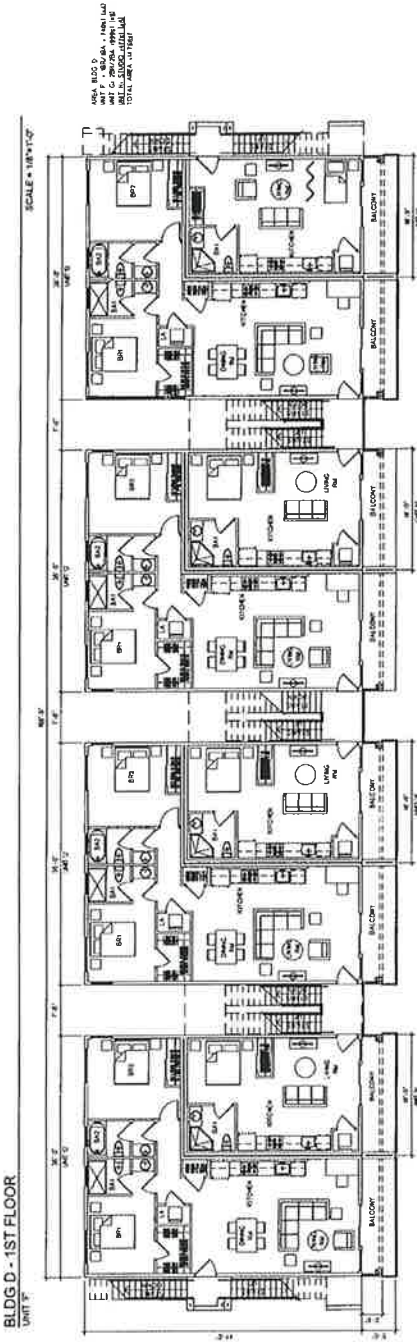
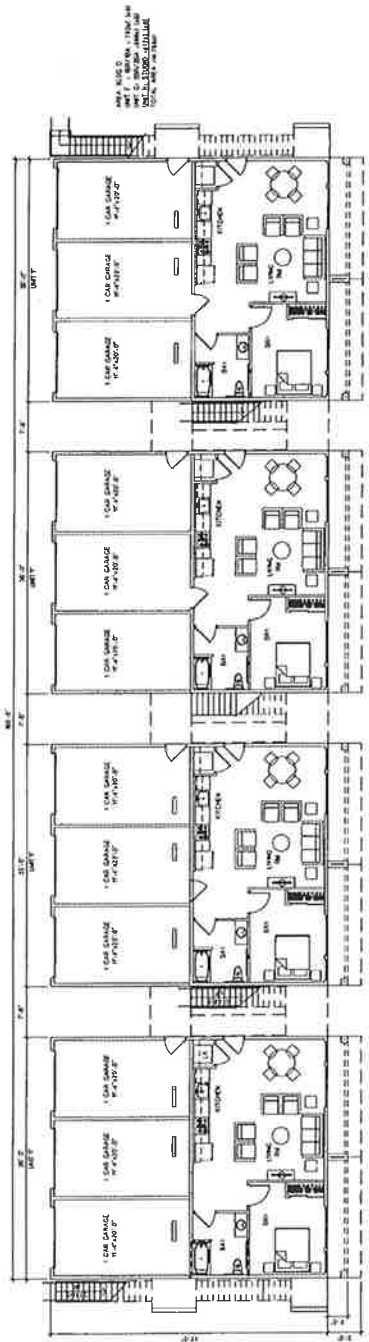
THESE PLANS ARE THE PROPERTY OF GRANVILLE HOMES AND ARE NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF GRANVILLE HOMES. GRANVILLE HOMES ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS IN THESE PLANS. GRANVILLE HOMES IS NOT RESPONSIBLE FOR ANY CONSTRUCTION DEFECTS OR DAMAGES TO ANY PROPERTY OR PERSONS ARISING FROM THE USE OF THESE PLANS.

THE MET  
 PROPOSED MULTI-FAMILY PROJECT  
 STANISLAUS STREET FRESNO, CA

BUILDING PLANS  
 BLDG D

Project #	1017
Date	09.26.13
Drawn by	CS
Checked by	CS
Sheet Number	

A2



BLDG D - 1ST FLOOR  
 UNITS 1 - 5

BLDG D - 2nd FLOOR  
 UNITS 6 - 10

BLDG D - 3rd FLOOR  
 UNITS 11 - 15



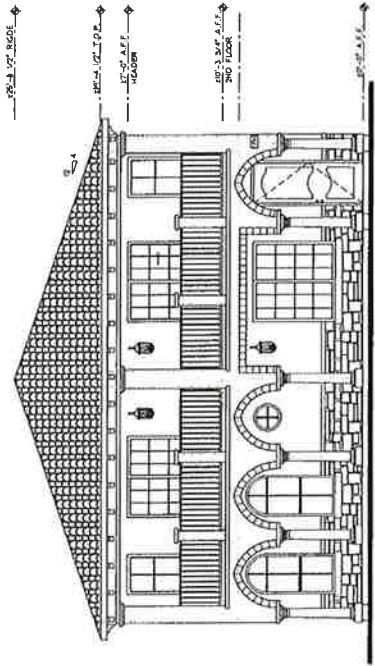
THE MET PROPOSED MULTIFAMILY PROJECT STANISLAUS STREET FRESNO, CA

EXTERIOR ELEVATIONS BLDGS A, B & C

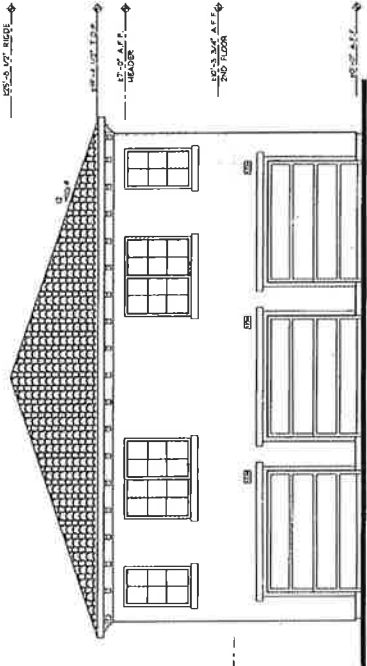
DATE: 08/14/13  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 SHEET NUMBER: A3

Sheet Number: A3

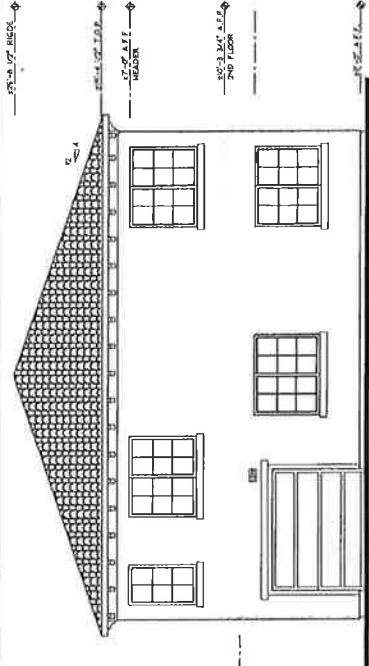
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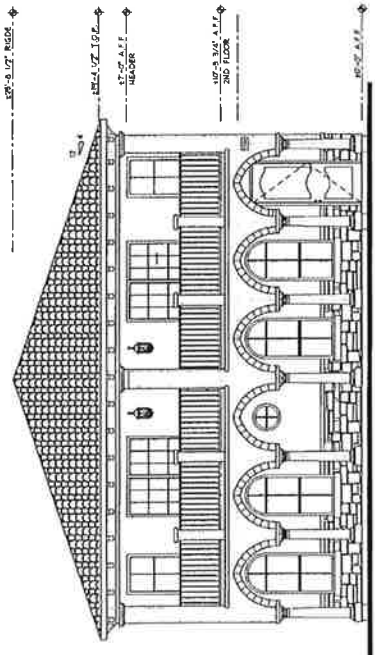
FRONT ELEVATION BLDG A



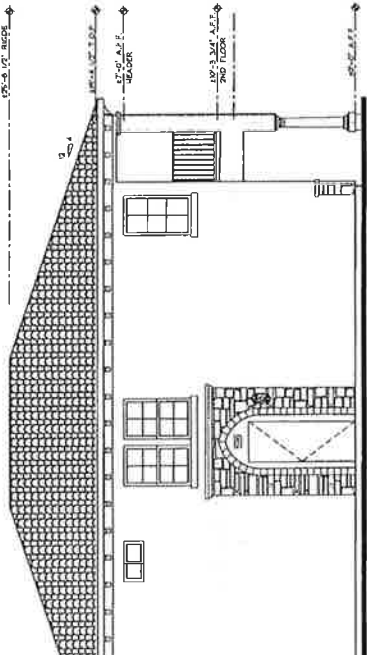
REAR ELEVATION BLDG A & B



REAR ELEVATION BLDG B & C



FRONT ELEVATION BLDG B & C



SIDE ELEVATION BLDG A & B & C





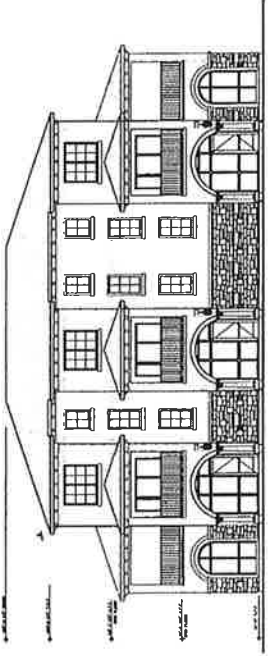
Granville Homes, Inc. is a registered contractor in the State of California, License No. 95000000. The company is a subsidiary of Granville Homes, Inc. The company is a subsidiary of Granville Homes, Inc. The company is a subsidiary of Granville Homes, Inc.

THE MET  
PROPOSED MULTIFAMILY PROJECT  
STANISLAUS STREET FRESNO, CA

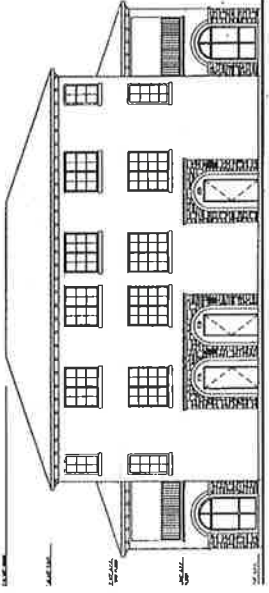
EXTERIOR  
ELEVATIONS  
BLDG E

Revised	
Drawn	
Checked	
Date	06/26/13
Scale	1/8" = 1'-0"
Sheet Number	

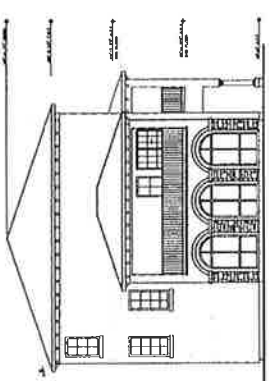
A5



FRONT ELEVATION BLDG E  
SCALE = 1/8" = 1'-0"

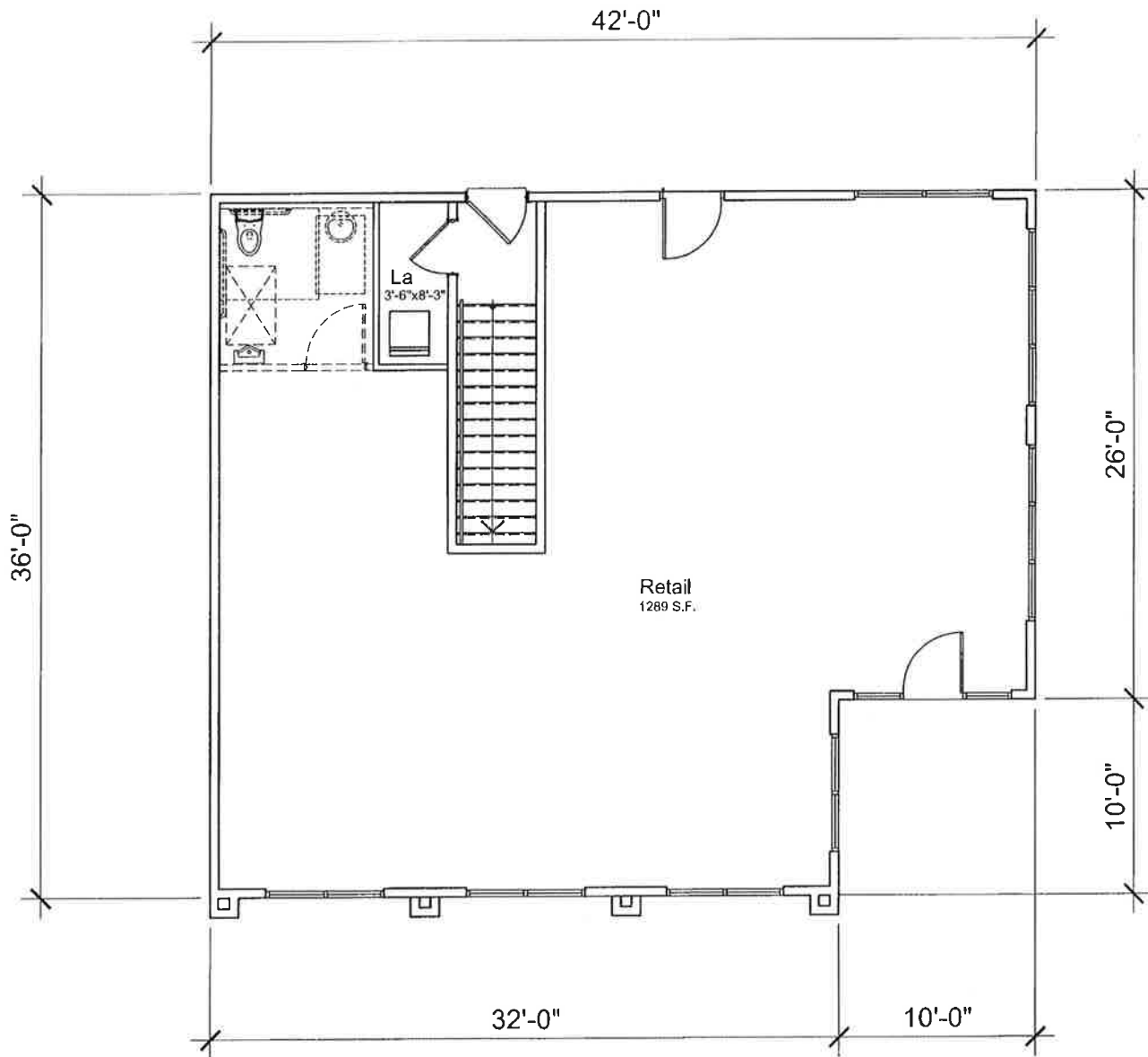


REAR ELEVATION BLDG E  
SCALE = 1/8" = 1'-0"



SIDE ELEVATION BLDG E  
SCALE = 1/8" = 1'-0"





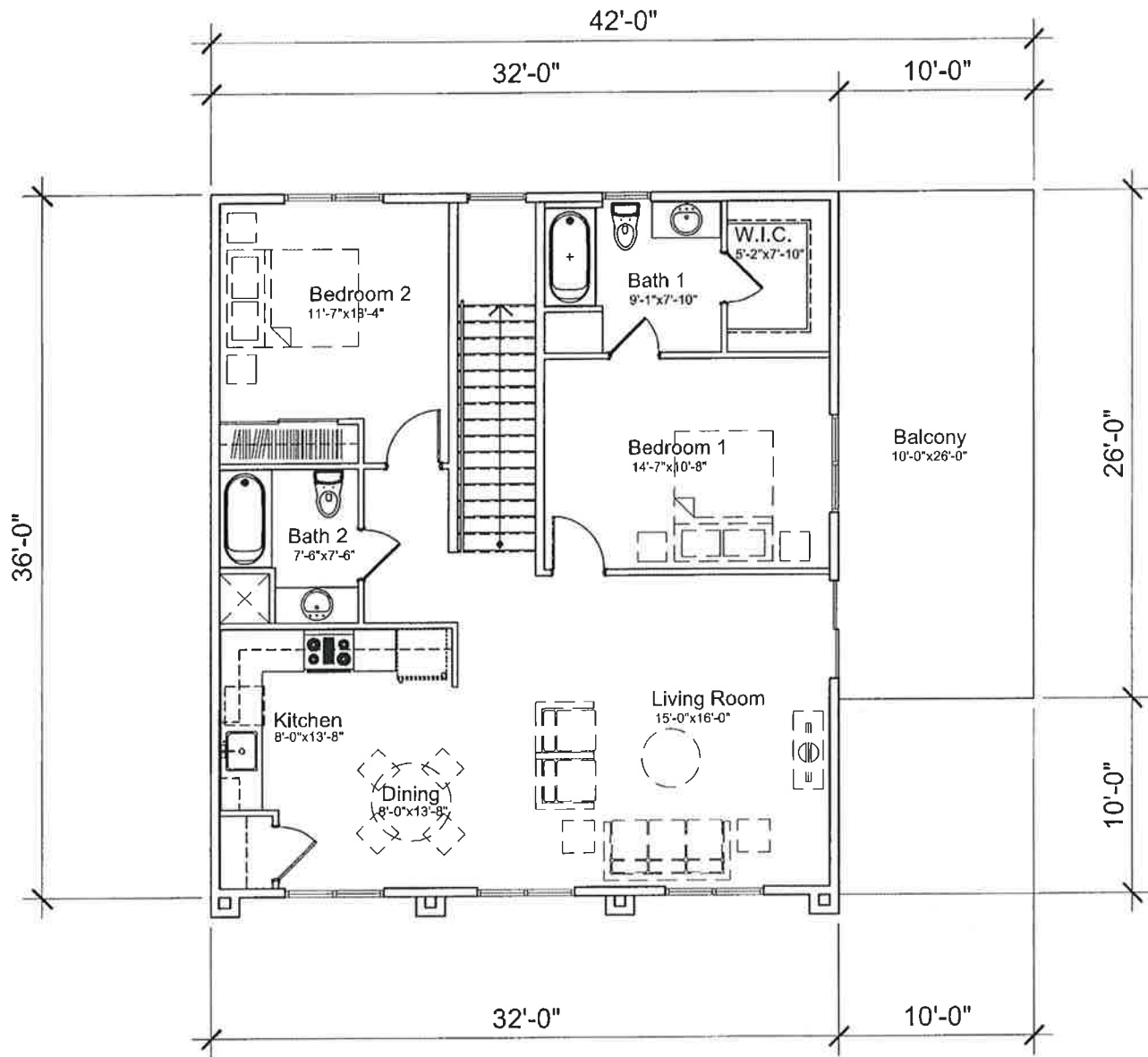
Met Site - Scheme A (BLDG. C) 2 Bedrooms - 2 Baths  
 First Floor

Area  
 1st flr (Retail) = 1289 sf  
 2nd flr  
 (Living + La) = 1185 sf

Floor Plan  
 1.27.14

Met Site





Met Site - Scheme A (BLDG. C) 2 Bedrooms - 2 Baths  
 Second Floor

Area  
 1st flr (Retail) = 1289 sf  
 2nd flr  
 (Living + La) = 1185 sf

Floor Plan  
 1.27.14

Met Site







# TENTATIVE SUBDIVISION MAP TRACT No. 6060

FOR CONDOMINIUM PURPOSES

APN 466-145-13 & 14

GROSS AREA = 2.75 ACRES  
NET AREA = 1.95 ACRES

*MET No. 1*

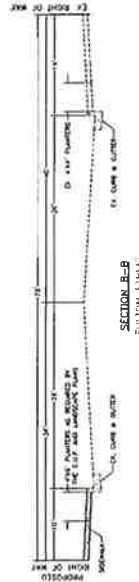
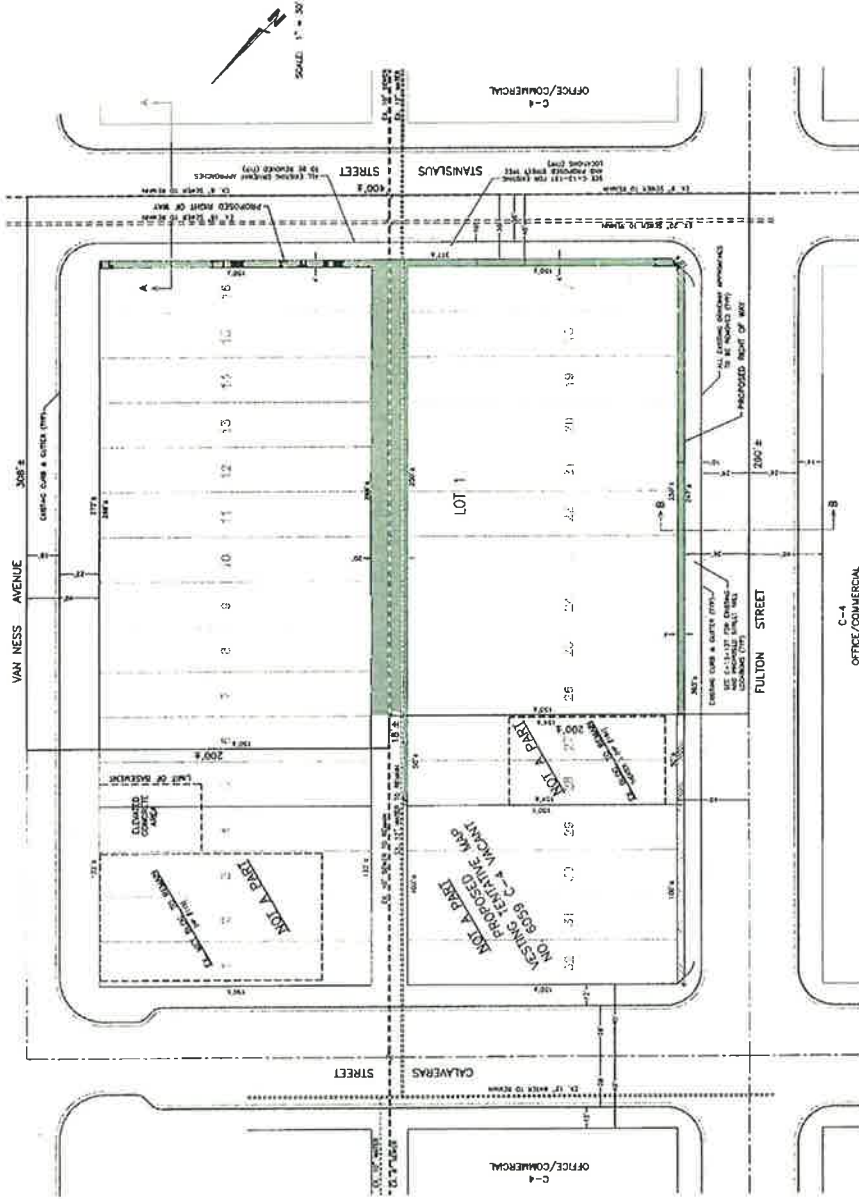
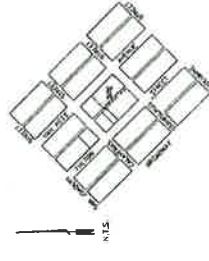
### IMPROVEMENTS TO BE INSTALLED:

- STREETS - CITY OF FRESNO STANDARDS
- WATER - CITY OF FRESNO STANDARDS
- SEWER - CITY OF FRESNO STANDARDS
- STORMWATER - CITY OF FRESNO STANDARDS
- TRUNK AND BRANCH CABLE TELEVISION - CITY OF FRESNO STANDARDS
- TRUNK AND BRANCH TELEPHONE - CITY OF FRESNO STANDARDS
- TRUNK AND BRANCH CABLE TELEVISION - CITY OF FRESNO STANDARDS
- TRUNK AND BRANCH TELEPHONE - CITY OF FRESNO STANDARDS
- TRUNK AND BRANCH CABLE TELEVISION - CITY OF FRESNO STANDARDS
- TRUNK AND BRANCH TELEPHONE - CITY OF FRESNO STANDARDS

### NOTES:

- EXISTING TRUNK - C-4
- EXISTING CABLE - W/OUT
- EXISTING TRUNK - W/OUT
- EXISTING TRUNK - W/OUT
- EXISTING TRUNK - W/OUT
- EXISTING TRUNK - W/OUT
- EXISTING TRUNK - W/OUT
- EXISTING TRUNK - W/OUT
- EXISTING TRUNK - W/OUT
- EXISTING TRUNK - W/OUT

### VICINITY MAP:



OWNER:  
FEMA PROPERTIES, LLC  
1386 W. HERNDON AVE  
FRESNO, CA 93711  
(559) 438-0900

SUBDIVIDER:  
FEMA PROPERTIES, LLC  
1386 W. HERNDON AVE  
FRESNO, CA 93711  
(559) 438-0900

PREPARED BY:  
CARY G. GIANNETTA  
LAND SURVEYING & LAND SURVEYING  
113 S. 2nd Street  
Fresno, CA 93701  
(559) 438-0900

**Exhibit D**  
**Photo of Site**



