


**City of Fresno Notes**

- APPROVAL OF THIS SPECIAL PERMIT MAY BECOME NULL AND VOID IN THE EVENT THAT DEVELOPMENT IS NOT COMPLETED IN ACCORDANCE WITH ALL THE CONDITIONS AND REQUIREMENTS IMPOSED ON THIS SPECIAL PERMIT. THE ZONING ORDINANCE AND ALL PUBLIC WORKS STANDARDS AND SPECIFICATIONS, THE DEVELOPMENT AND RESOURCE MANAGEMENT DEPT. SHALL NOT ASSUME RESPONSIBILITY FOR ANY DELETIONS OR OMISSIONS RESULTING FROM THE SPECIAL PERMIT REVIEW PROCESS OR FOR ADDITIONS OR ALTERATIONS TO CONSTRUCTION PLANS NOT SPECIFICALLY SUBMITTED OR REVIEWED AND APPROVED PURSUANT TO THIS SPECIAL PERMIT OR SUBSEQUENT AMENDMENTS OR REVISIONS.
- NO USES OF LAND, BUILDINGS, OR STRUCTURES OTHER THAN THOSE SPECIFICALLY APPROVED PURSUANT TO THIS SITE PLAN SHALL BE PERMITTED.
- NO STRUCTURES OF ANY KIND (INCLUDING FREE SIGNS AND/OR FENCES) MAY BE INSTALLED OR MAINTAINED WITHIN THE REQUIRED LANDSCAPED AREAS. NO EXPOSED UTILITY BOXES, TRANSFORMERS, METERS, PIPING (EXCEPTING THE BACKFLOW PREVENTION DEVICE), ETC. ARE ALLOWED TO BE LOCATED IN THE LANDSCAPE AREAS OR SETBACKS OR ON THE STREET FRONTS OF THE BUILDINGS. ALL TRANSFORMERS, ETC. SHALL BE SHOWN ON THE SITE PLAN. THE BACKFLOW DEVICE SHALL BE SCREENED BY LANDSCAPING OR SUCH OTHER MEANS AS MAY BE APPROVED.
- TREES SHALL BE MAINTAINED IN GOOD HEALTH. HOWEVER, TREES MAY NOT BE TRIMMED OR PRUNED TO REDUCE THE NATURAL HEIGHT OR OVERALL CROWN OF THE TREE, EXCEPT AS NECESSARY FOR THE HEALTH OF THE TREE AND PUBLIC SAFETY, OR AS MAY OTHERWISE BE APPROVED BY THE DEVELOPMENT AND RESOURCE MANAGEMENT DEPT.
- LANDSCAPING MUST BE IN PLACE BEFORE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY. A HOLD ON OCCUPANCY SHALL BE PLACED ON THE PROPOSED DEVELOPMENT UNTIL SUCH THAT LANDSCAPING HAS BEEN APPROVED AND VERIFIED FOR THE PROPER INSTALLATION BY THE DEVELOPMENT SERVICES DIVISION.
- PRIOR TO THE FINAL INSPECTION A WRITTEN CERTIFICATION, SIGNED BY THE LANDSCAPE PROFESSIONAL APPROVED BY THE DIRECTOR, SHALL BE SUBMITTED STATING THAT THE REQUIRED LANDSCAPING AND IRRIGATION SYSTEM WAS INSTALLED IN ACCORDANCE WITH THE LANDSCAPING AND IRRIGATION PLANS APPROVED BY THE PLANNING DIVISION, DEVELOPMENT DEPT.
- FUTURE FENCES SHALL BE REVIEWED AND APPROVED BY THE PLANNING AND DEVELOPMENT DEPT. PRIOR TO INSTALLATION.
- ALL ACCESSIBLE STALLS SHALL BE MARKED WITH THE INTERNATIONAL SYMBOL OF SPACES WARNING THAT VEHICLES IN VIOLATION OF SECTION 10-1017 OF THE MUNICIPAL CODE SHALL BE TOWED AWAY. THE INTERNATIONAL SYMBOL AND TOW AWAY WARNING SHALL BE POSTED CONSPICUOUSLY ON SEVEN FOOT POLES.
- ALL ACCESSIBLE PARKING STALLS SHALL BE PLACED ADJACENT TO FACILITY ACCESS RAMPS OR IN STRATEGIC AREAS WHERE THE HANDICAPPED SHALL NOT HAVE TO WHEEL OR WALK BEHIND PARKED VEHICLES WHILE TRAVELING TO OR FROM ACCESSIBLE PARKING STALLS OR RAMPS.
- PURSUANT TO SECTION 10-102.2 OF THE F.M.C. NOISE LEVELS FOR INDUSTRIAL ZONED PROPERTIES SHALL NOT EXCEED TO 10h ANTIHE MEASURED AT THE NEAREST SUBJECT PROPERTY LINE. FUTURE USES AND/OR DEVELOPMENT SHALL BE REQUIRED TO COMPLY WITH THIS PROVISION.
- SIGNS, OTHER THAN DIRECTIONAL SIGNS, IF APPLICABLE, ARE NOT APPROVED FOR INSTALLATION AS PART OF THIS SPECIAL PERMIT.
- IF ARCHAEOLOGICAL AND/OR ANIMAL FOSSIL MATERIAL IS ENCOUNTERED DURING PROJECT SURVEYING, GRADING, EXCAVATING, OR CONSTRUCTION, WORK SHALL STOP IMMEDIATELY.
- IF THERE ARE SUSPECTED HUMAN REMAINS, THE FRESNO COUNTY CORNER SHALL BE IMMEDIATELY CONTACTED. IF THE REMAINS OR OTHER ARCHAEOLOGICAL MATERIAL IS POSSIBLY NATIVE AMERICAN IN ORIGIN, THE NATIVE AMERICAN HERITAGE COMMISSION (PHONE: 916-653-4082) SHALL BE IMMEDIATELY CONTACTED, AND THE CALIFORNIA ARCHAEOLOGICAL INVENTORY/SOUTHERN SAN JOAQUIN VALLEY INFORMATION CENTER (PHONE: 805-644-2289) SHALL BE CONTACTED TO OBTAIN A REFERRAL LIST OF RECOGNIZED ARCHAEOLOGISTS. AN ARCHAEOLOGICAL ASSESSMENT SHALL BE CONDUCTED FOR THE PROJECT. THE SITE SHALL BE FORMALLY RECORDED, AND RECOMMENDATIONS MADE TO THE CITY AS TO ANY FURTHER SITE INVESTIGATION OR SITE AVOIDANCE/PRESERVATION.
- IF ANIMAL FOSSILS ARE UNCOVERED, THE MUSEUM OF PALEONTOLOGY, I.C. BEZERRLEY SHALL BE CONTACTED TO OBTAIN A REFERRAL LIST OF RECOGNIZED PALEONTOLOGISTS. A PALEONTOLOGIST SHALL CONDUCT AN ASSESSMENT AND, IF THE PALEONTOLOGIST DETERMINES THE MATERIAL TO BE SIGNIFICANT, IT SHALL BE PRESERVED.
- VERIFY LOCATION OF UTILITY AND WATER/WASTE LINES WITH UTILITY DEPARTMENT.
- GRADE DIFFERENTIALS GREATER THAN 12" SHALL BE SUPPORTED BY AN APPROVED ENGINEERED RETAINING WALL.
- LIGHTING WHERE PROVIDED TO ILLUMINATE PARKING, SALES OR DISPLAY AREAS SHALL BE HOODED AND SO ARRANGED AND CONTROLLED SO AS NOT TO CAUSE A NUISANCE EITHER TO HIGHWAY TRAFFIC OR TO THE LOCAL ENVIRONMENT. THE AMOUNT OF LIGHT SHALL BE PROVIDED ACCORDING TO THE CALIFORNIA ENERGY CODE AND 2010 CAL GREEN BUILDING STANDARDS CODE SECTION 5.106.8.

**City of Fresno Fire Dept. Notes**

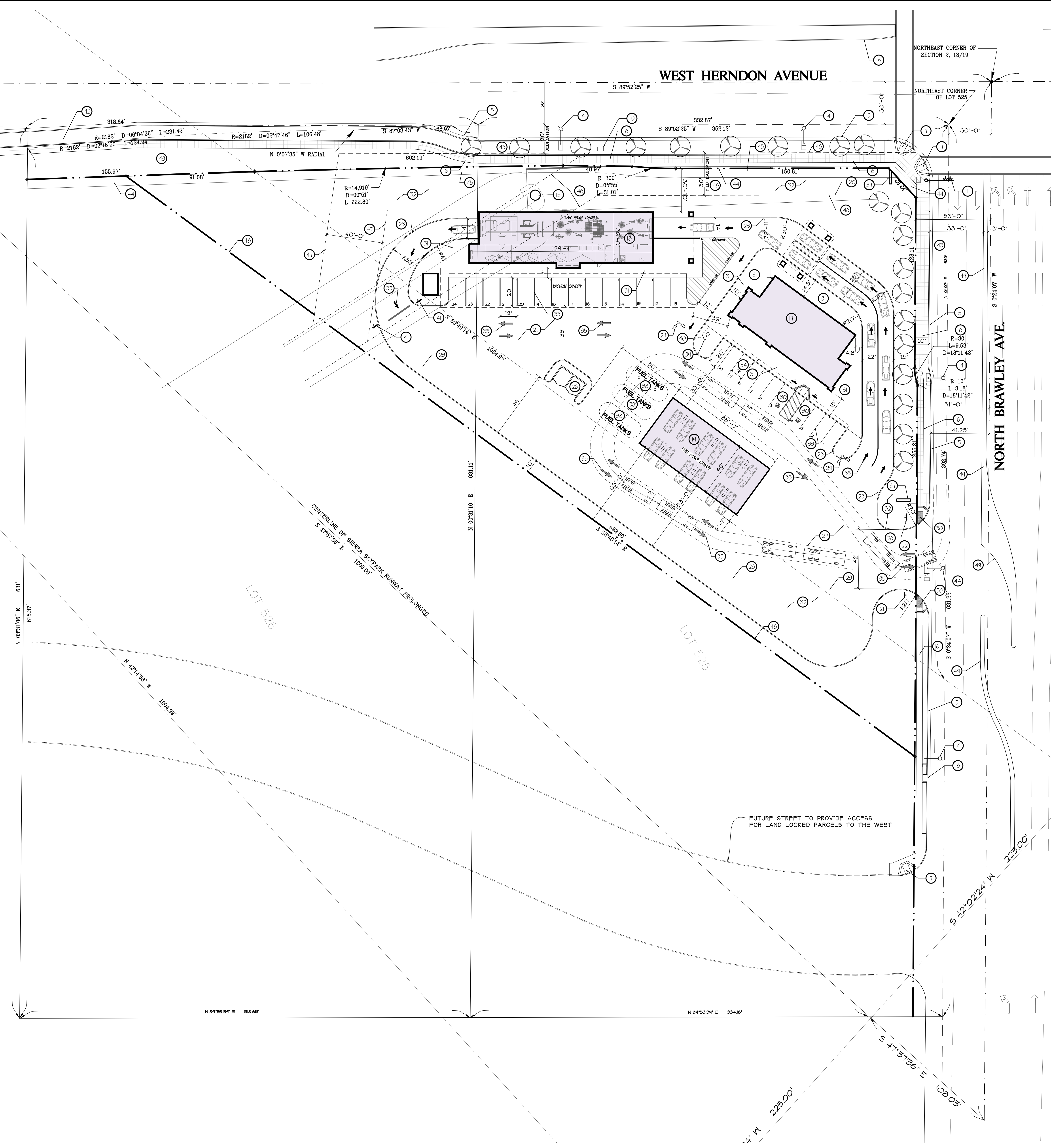
- HYDRANTS ARE NOTED ON PLANS. PROVIDE FIRE HYDRANT FLOW OF 1500 GPM WITH A MIN. 8" WATER MAIN.
- TWO MEANS OF INGRESS/EGRESS MUST BE PROVIDED. THIS ACCESS MUST BE MAINTAINED DURING ALL PHASES OF DEVELOPMENT. ALL CONSTRUCTION WORK ON THIS PROJECT IS SUBJECT TO INTERUPTION IF THE ROAD SYSTEM BECOMES IMPASSABLE FOR FIRE APPARATUS DUE TO RAIN OR OTHER OBSTACLES. ALL REQUIRED FIRE ACCESS LINES SHALL BE PROVIDED AND MAINTAINED WITH AN APPROVED ALL WEATHER SURFACE CAPABLE OF SUPPORTING 80000 LB. VEHICLES ON 4" BASE ROCK OVER COMPACTED OR UNDISTURBED NATIVE SOIL OR PER APPROVED ENGINEERED PLANS) YEAR ROUND AND WITH 24 FOOT MIN. WIDTH OR OTHER APPROVED METHOD THAT WOULD PREVENT SHOULDER DEGRADATION.
- STREETS DESIGNATED ON THE PLAN SHALL BE IDENTIFIED AS FIRE LANES AS PROVIDED IN THE CALIFORNIA VEHICLE CODE, SECTION 22500.1. DESIGNATE HIGHLIGHTED CURBS AS FIRE LANES (RED CURBS WITH "FIRE LANE" IN 3" LETTERS EVERY 50 FEET).
- PROVIDE SIGNS (17"X22" MINIMUM) AT ALL PUBLIC ACCESS DRIVES TO THE PROPERTY. "WARNING-VEHICLES STOPPED, PARKED, OR LEFT STANDING IN FIRE LANES WILL BE IMMEDIATELY REMOVED AT OWNER'S EXPENSE-22658 CALIFORNIA VEHICLE CODE-FRESNO POLICE DEPARTMENT 621-2300."
- PROVIDE A COVENANT FOR SHARED FIRE FIGHTING ACCESS AND WATER SUPPLY.
- FIRE LANES ARE REPRESENTED AS  ON THE PLANS.

**Site Plan Notes**

- ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A PERSON LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF CALIFORNIA.
- REPAIR ALL DAMAGED AND/OR OFF-GRADE CONCRETE STREET IMPROVEMENTS, AS DETERMINED BY THE CONSTRUCTION MANAGEMENT ENGINEER, PRIOR TO OCCUPANCY.
- TWO (2) WORKING DAYS BEFORE COMMENCING EXCAVATION OPERATIONS WITHIN THE STREET RIGHT OF WAY AND/OR UTILITY EASEMENTS, ALL EXISTING UNDERGROUND FACILITIES SHALL HAVE BEEN LOCATED BY UNDERGROUND SERVICES ALERT (USA), CALL 1-800-642-2444.
- THE REQUIRED 4' MINIMUM PATH OF TRAVEL SHALL BE PROVIDED ALONG THE PUBLIC SIDEWALK DIRECTLY IN FRONT OF PROPERTY, AS REQUIRED BY THE CALIFORNIA ADMINISTRATION CODE (TITLE 24). A PEDESTRIAN EASEMENT MAY BE REQUIRED IF REQUIREMENTS ARE NOT MET.
- ALL GATES OR COMMON ACCESS DRIVES SHALL BE EQUIPPED WITH APPROVED POLICE/FIRE BYPASS LOCKS (BEST LOCKS- PADLOCK 218700 SERIES OR CYLINDER LOCK 1W782).
- PROVIDE DESIGNATED PARKING FOR ANY COMBINATION LOW-EMITTING, FUEL EFFICIENT AND CAR POOL/VAN POOL VEHICLES AS REQUIRED BY 2010 CAL GREEN BUILDING STANDARDS CODE TABLE 5.106.6.2.
- PROVIDE BICYCLE PARKING AS REQUIRED BY 2010 CAL GREEN BUILDING STANDARDS CODE SECTION 5.106.4.
- ALL EXISTING DRIVEWAY APPROACHES WHICH NO LONGER PROVIDE ACCESS TO APPROVED VEHICLE PARKING AREAS SHALL BE REMOVED UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER. SUCH AREAS SHALL BE RECONSTRUCTED WITH CURB, GUTTER, AND SIDEWALK TO MATCH ADJACENT STREET IMPROVEMENTS.
- DEED(S) OF EASEMENT(S) FOR THE REQUIRED DEDICATION(S) SHALL BE PREPARED BY THE OWNER/ DEVELOPER'S ENGINEER AND SUBMITTED TO THE CITY FOR VERIFICATION OF OWNERSHIP PRIOR TO ISSUANCE OF BUILDING PERMITS.

**Project Information**





|  |   |
|--|---|
| <b>SITE SQUARE FOOTAGE</b>                           | 17,717.62 Sq.Ft. or 2.70 Ac.                    |
| <b>ZONING -</b>                                      |   |
| <b>BUILDING SQUARE FOOTAGE</b>                       |   |
| CONVENIENCE STORE                                    | 3,340 Sq.Ft.                                    |
| CAR WASH   | 4,560 Sq.Ft.                                    |
| FUEL CANOPY  | 3,400 Sq.Ft.                                    |
| <b>TOTAL BUILDING SQUARE FOOTAGE</b>                 | 11,300 Sq.Ft.<br>(7,900 used for Parking Ratio) |
| <b>PARKING RATIO - 3.6 SPACES / 1000 SF</b>          |   |
| <b>TOTAL PARKING REQUIRED (7,900 Sq.Ft./7.9x3.6)</b> | 28.44 Spaces                                    |
| <b>TOTAL PARKING PROVIDED</b>                        | 34 Spaces                                       |



**SITE PLAN**  
SCALE: 1"=30'-0"

- EXISTING SIGNAL TRAFFIC LIGHT
- EXISTING TRAFFIC BOX
- EXISTING CROSSWALK
- EXISTING STREET LIGHT
- EXISTING STREET LIGHT TO BE RELOCATED
- EXISTING CURB + GUTTER TO REMAIN + COMPLY W/ PUBLIC WORKS STD. P-3
- EXISTING SIDEWALK TO REMAIN
- EXISTING ACCESSIBLE RAMP
- EXISTING STORM DRAIN INLET
- EXISTING FIRE HYDRANT
- EXISTING ELECTRICAL VAULT
- EXISTING MANHOLE COVER (SANITARY SEWER)
- EXISTING MANHOLE COVER (STORM DRAIN)
- EXISTING F.I.D. CANAL WEIR
- EXISTING EASEMENT (WATER LINE)
- EXISTING EASEMENT (STORM DRAIN PIPELINE)
- EXISTING MEDIAN ISLAND
- PROPOSED GAS STATION BLDG. 3,340 Sq.Ft.
- PROPOSED CAR WASH BLDG. 4,560 Sq.Ft. ADDITION
- PROPOSED FUELING CANOPY 3,400 Sq.Ft. ADDITION
- INDICATES 30' BUILDING SETBACK
- INSTALL 30" STATE STANDARD "STOP" SIGNS AT LOCATIONS(S) SHOWN. SIGN SHALL BE MOUNTED ON A 2" GALV POST WITH THE BOTTOM OF THE SIGN 7' ABOVE GROUND, LOCATED BEHIND CURB AND IMMEDIATELY BEHIND STREET SIDEWALK. INSTALL 30"X36" STATE STD. SIGN IMMEDIATELY BELOW THE STOP SIGN ON THE SAME POS. LOCATE ON PRIVATE PROPERTY.
- NEW STREET TYPE/COMMERCIAL DRIVEWAY APPROACH PER P.W. STD.
- NEW 6" CONCRETE CURB PER CITY OF FRESNO
- NEW G' CONC. CURB + GUTTER PER CITY OF FRESNO
- NEW SITE ENTRANCE SIGN (REGARDING UNAUTHORIZED VEHICLE PARKING PER CDC DV. 2 SITE ACCESSIBILITY STANDARDS (SEC. 11294.6).
- NEW A.C. PAVING PER SOILS REPORT # BY + F.W. STD. P-21, P-22, + P-23. WHICH EVER IS MOST STRINGENT.
- NEW TRASH ENCLOSURE - PER P.W. STANDARDS. (P-33, P-34 + P-35)
- SITE LIGHTING. (NOT TO BE INSTALLED WITHIN 3' OVERHANG).
- NEW ACCESSIBLE PARKING STALL WITH RAMP AND SIGNAGE PER CDC DV. 2 SITE ACCESSIBILITY STANDARDS (SEC. 11278, 11280 + 11294.6).
- NEW CONC. WALK WITH TOOLED CONTROL JOINTS AND EXPANSION JOINTS AND BROOM FINISH. 17'-0" MIN. WALK WHEN ADJ. TO PARKING TYP.
- NEW LANDSCAPE PLANTER.
- NEW WHITE PAINT PARKING STRIPING, TYP.
- LIMIT OF 36" VEHICLE OVERHANG NOTHING OVER 6' IN HEIGHT IN THIS AREA. TYP.
- NEW WHITE PAINTED DIRECTIONAL ARROWS AT BEGINNING AND END OF AISLES, TYP.
- NEW 6" CONC. CURB PAINTED RED WITH "FIRE LANE" IN 3" WHITE LETTERS EVERY 50 FEET.
- NEW MONUMENT SIGN. (BY SEPARATE PERMIT).
- NEW UNDERGROUND FUEL STORAGE TANKS. (BY SEPARATE PERMIT).
- NEW LPG TANK AND PUMP. (BY SEPARATE PERMIT).
- NEW 6" DIA. PIPE BOLLARDS.
- NEW "DO NOT ENTER" SIGN.
- ACQUIRED BY THE CITY OF FRESNO BY THAT FINAL ORDER OF CONDEMNATION RECORDED 12/24/1992 AS DOCUMENT NO. 92192632. O.R.F.C.
- PREVIOUSLY DEDICATED FOR PUBLIC STREET PURPOSES BY CITY OF FRESNO RESOLUTION NO. 2201-19 RECORDED 1/29/2001 AS DOCUMENT NO. 2001-001072. O.R.F.C.
- PREVIOUSLY DEDICATED FOR PUBLIC STREET PURPOSES BY CITY OF FRESNO RESOLUTION NO. 2213-69 RECORDED 5/29/2013 AS DOCUMENT NO. 2013-007677. O.R.F.C.
- PREVIOUSLY DEDICATED FOR PUBLIC PEDESTRIAN WALKWAY PURPOSES BY CITY OF FRESNO RESOLUTION NO. 2013-68 RECORDED 5/29/2013 AS DOCUMENT NO. 2013-007677. O.R.F.C.
- PREVIOUSLY DEDICATED TO THE FRESNO IRRIGATION DISTRICT FOR IRRIGATION PURPOSES BY THAT INSTRUMENT RECORDED 5/7/2015 AS DOCUMENT NO. 2013-0065721. O.R.F.C. TO BE REALIGNED PER AGREEMENT WITH F.I.D.
- REVISED F.I.D. EASEMENT ALIGNMENT
- PROPOSED NEW PROPERTY LINE.
- PROPOSED FUTURE MEDIAN ISLAND.
- PROPOSED NEW ACCESSIBLE RAMP PER P.W. STANDARDS. (P-20).

**KEYED NOTES :**

-  INDICATES PROPERTY LINES
-  INDICATES FLIGHT PATH BOUNDARY
-  INDICATES EASEMENTS
-  INDICATES CENTER LINE

**LEGEND**



**VICINITY MAP**

**JEFF CAZALY ARCHITECT**  
725 W ALLIANCE SUITE 94  
FRESNO, CA 93711  
COMMERCIAL AND INDUSTRIAL DESIGN  
Tel: (559) 291-1889  
Fax: (559) 291-1888  
jeff@jeffcazalyarchitect.com

**PROJECT 1**  
**NEW GAS SATATION AND CAR WASH FOR:**  
**HERNDON BRAWLEY CHEVRON**  
**HERNDON AVE. & BRAWLEY AVE.**  
CALIFORNIA  
CITY OF FRESNO  
APN. 507-003-12ST

**CONSULTANTS**

**SHEET CONTENTS :**  
**ARCHITECTURAL SITE PLAN**

REVISED :

**JOB NUMBER :** 2014\_027

**LICENSED ARCHITECT**  
JEFFRY A. CAZALY  
No. C-34440  
RENEWAL DATE  
8-31-15  
STATE OF CALIFORNIA

Designed By : \_\_\_\_\_ Scale : As noted  
Drawn By : KCS  
Checked By : JAC  
Reviewed By : JAC  
Date : 4-20-14

**A01**