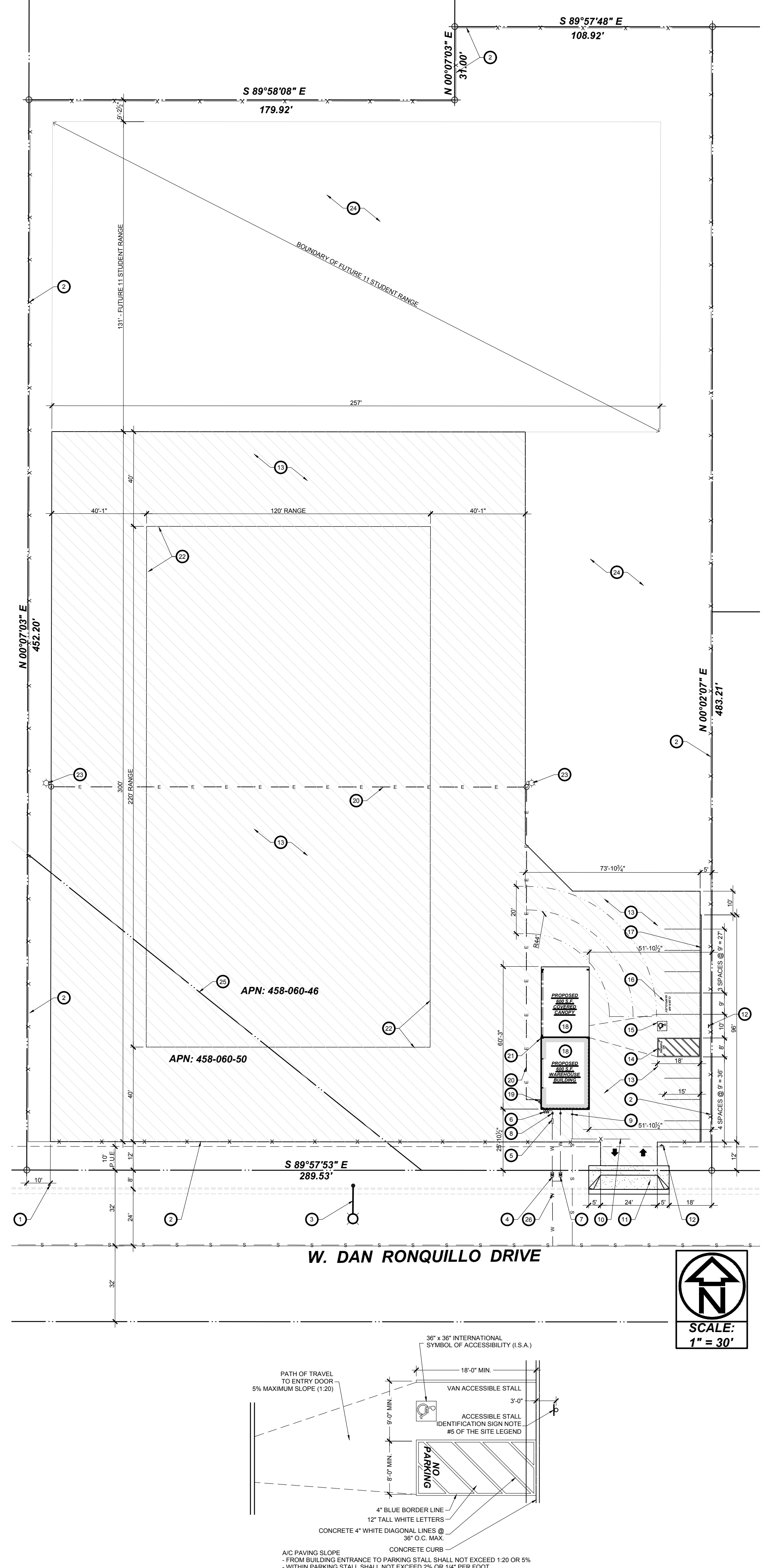


GENERAL NOTES

- Approval of this special permit may become null and void in the event that development is not completed in accordance with all the conditions and requirements imposed on this special permit...
No land shall be used, and no structure shall be constructed, occupied, enlarged, altered, demolished, or moved in any zoning district...
Development shall take place in accordance with the Standards, Specifications, and Standard Drawings of the City of Fresno Public Works Department...
Owners and persons having ownership interest in businesses operating in the City of Fresno (including leasing out any commercial or industrial property...
All proposed buildings (or structures) constructed on the property must comply with the prevailing California Building Code Standards...
A permit granted under the FMC shall automatically expire if it is not exercised or extended within three years of its issuance...
Nothing in this Development Code shall be deemed to prohibit the erection of temporary fencing around construction sites in compliance with the Building Code...
Fire fences shall be reviewed and approved by the Development and Resource Management Department prior to installation...
Trees shall be maintained by property owners to be free from physical damage or injury arising from lack of water, chemical damage, accidents, vandalism, insects, or disease...
The review authority shall issue a Tree Removal Permit if any of the following general criteria is met...
Landscaping must be in place before issuance of the certificate of occupancy...
New landscaping shall have an automatic irrigation system designed to provide adequate and efficient coverage of all plant material...
Fire tenant improvements shall be reviewed and approved by the Development and Resource Management Department to ensure that adequate off-street parking is provided...
Trees required for parking lots are in addition to trees required elsewhere on the site as prescribed in the FMC...
A minimum number of accessible parking spaces are required for the proposed project per State of California Building Code...
All accessible spaces shall be marked with the international symbol of spaces and a warning that vehicles in violation of Section 10-1017 of the Fresno Municipal Code shall be towed away...
Applicants are encouraged to provide shared vehicle and pedestrian access between adjacent properties for convenience, safety, and efficient circulation...
Bicycle parking spaces shall be supplied according to Table 15-2429-D: Required On-Site Bicycle Parking Spaces of the FMC...
All future signs shall be architecturally compatible with the proposed building(s)...
Window signs limited to the hours of operation, address, occupancy, and emergency information, subject to the following standards...
Banners, streamers, moving signs, and inflatables (including air dancers, balloons, and similar objects) are allowed subject to Temporary Use Permit approval...
Noise levels shall not exceed the decibel levels described in Section 15-2206 of the FMC...
The address listed in the conditions of approval is the 'Official Address' given to the building...
All projects, including projects that involve less than one acre of property, are required to comply with the City of Fresno's Urban Storm Water Quality Management and Discharge Control Ordinance...
When a project involves one acre or more of construction activity...
When a project involves specified nonresidential activities (certain commercial and industrial activities)...
Screen all roof-mounted equipment from the view of public rights-of-way...
If archaeological and/or animal fossil material is encountered during project surveying, grading, excavating, or construction, work shall stop immediately...



SHEET INDEX table with columns: T-1 SITE PLAN, G-1 GRADING PLAN, A-1 FLOOR PLAN, FOUNDATION PLAN & EXTERIOR ELEVATIONS, A-2 DETAILS, T24-1 ENERGY COMPLIANCE INDOOR LIGHTING, T24-2 ENERGY COMPLIANCE INDOOR LIGHTING, T24-3 ENERGY COMPLIANCE OUTDOOR LIGHTING, E1-T2, R1-22 STRUCTURAL STEEL PLANS

PROJECT DATA table with columns: DESCRIPTION, PROPOSED WAREHOUSE ON AN UNDEVELOPED LOT, ZONING, CONSTRUCTION TYPE, FIRE SUPPRESSION, LOCATION, AREA (SQ. FT.), OCCUPANCY GROUP, SQ. FT. / OCCUPANT, MAXIMUM OCCUPANCY

OCCUPANT LOAD table with columns: LOCATION, AREA (SQ. FT.), OCCUPANCY GROUP, SQ. FT. / OCCUPANT, MAXIMUM OCCUPANCY

SITE LEGEND table with columns: SYMBOL, DESCRIPTION, SIZE, NOTES. Lists symbols for sanitary sewer, water service, water meter, joint utility trench, utility transformer, electric vehicle circuit conduit, electric vehicle circuit box, street centerline, property line, public utility easement, fence, ac paving, concrete flatwork.

- 1. ALL IMPROVEMENTS OFF SITE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF FRESNO PUBLIC WORKS DEPARTMENT OR STREET CONSTRUCTION PLANS APPROVED BY THE CITY ENGINEER.
2. TWO WORKING DAYS BEFORE COMMENCING EXCAVATION, OPERATIONS WITHIN THE STREET RIGHT-OF-WAY AND/OR UTILITY EASEMENTS...
3. ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A PERSON LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF CALIFORNIA.
4. REPAIR ALL DAMAGED AND/OR OFF-GRADE CONCRETE STREET IMPROVEMENTS AS DETERMINED BY THE CONSTRUCTION MANAGEMENT DIVISION PRIOR TO OCCUPANCY.
5. SIGNAGE REQUIREMENTS (CIB 118-500.0):
- REDUCED PRESSURE (RP) ZONE ASSEMBLY - LANDSCAPE SERVICE
- RICHIELLI 'ANTI-SIPHON' LANDSCAPE VALVES AS REQUIRED
- 1 1/2" DIA. CONDUIT FROM ELECTRICAL PANEL TO 'J' BOXES FOR FUTURE POLE MOUNTED LIGHTING
6. IF HUMAN/ANIMAL/ARCHAEOLOGICAL REMAINS ARE ENCOUNTERED DURING PROJECT WORK SHALL STOP IMMEDIATELY...
7. HUMAN: IMMEDIATELY CONTACT THE FRESNO COUNTY CORONER
8. ANIMAL: IMMEDIATELY CONTACT THE MUSEUM OF PALEONTOLOGY, U.C. BERKELEY (510) 840-1621
9. POSSIBLY NATIVE AMERICAN HUMAN OR ARCHAEOLOGICAL MATERIAL, IMMEDIATELY CONTACT:
- THE NATIVE AMERICAN HERITAGE COMMISSION (916) 653-4892
- THE CALIFORNIA ARCHAEOLOGICAL INVENTORY/SOUTHERN SAN JOAQUIN VALLEY INFORMATION CENTER (805) 844-2289

SITE KEYNOTES table with columns: SYMBOL, EXISTING CURB AND GUTTER, HIGH WIDE WROUGHT IRON FENCE, EXISTING STREET LIGHT, 1 1/2" METER FOR LANDSCAPE WATER USE, REDUCED PRESSURE (RP) ZONE ASSEMBLY - LANDSCAPE SERVICE, RICHIELLI 'ANTI-SIPHON' LANDSCAPE VALVES AS REQUIRED, 1 1/2" METER FOR DOMESTIC WATER USE, SHUT OFF VALVE, NEW 4" WASTE LINE & CLEANOUT WITHIN 6' OF BUILDING, 6" HIGH x 22" WROUGHT IRON ROLLING GATE WITH LOCK, NEW 24" WIDE CONCRETE DRIVE APPROACH, DEMO EXISTING CURB & GUTTER AS NEEDED PER PW STANDARDS, ACCESSIBLE STALL IDENTIFICATION SIGN NO. #6 OF THE SITE LEGEND, AC PAVING PER P.W. STANDARDS P-41, P-42 & P-43. SEE GRADING PLAN, 'NO WINDOW' STRIPED ACCESS ASILE, VAN ACCESSIBLE PARKING STALL WITH 30" SQ. U.S.A. SEE DETAIL THIS SHEET, DESIGNATED PARKING FOR ANY COMBINATION OF LOW-EMITTING, CARPOOL/VANPOOL VEHICLES, PAINT LETTERING AS SHOWN IN SAME PAINT AS USED FOR PARKING STALL STRIPING, NEW 6" PARKING STOP CURB - SEE CIVIL, PROPOSED 80 SQ. FT. METAL BOND DUTY 600 SF. FT. COVERED CANOPY, ELECTRICAL PANEL - 200 AMP 3 PHASE SERVICE, 1 1/2" DIA. CONDUIT FROM ELECTRICAL PANEL TO 'J' BOXES FOR FUTURE POLE MOUNTED LIGHTING, DOWNSPOUT LOCATION, STRIPING PER OWNER @ RANGE, FUTURE POLE MOUNTED LIGHTING, UNDEVELOPED LAND, EXTENTS OF AVIATION EASEMENT AND AGREEMENT / NEW 1 1/2" WATER SERVICE LINE TO MAIN, MAINFOLD TO DOMESTIC & LANDSCAPE IRRIGATION SERVICES.

FIRE DEPARTMENT NOTES table with 3 columns. 1. IN BUILDING OCCUPANCY GROUP A HAVING AN OCCUPANCY LOAD OF 300 OR LESS... 2. THIS PERMIT DOES NOT INCLUDE ANY HIGH PILE STORAGE OR RACK STORAGE OVER 8'-0" IN HEIGHT... 3. NO HAZARDOUS MATERIALS TO BE STORED OR USED IN THE BUILDING. 4. PROVIDE A SMOKE DETECTOR IN THE MAIN SUPPLY AIR DUCT OF EACH HVAC UNIT TO SHUT OFF THE POWER SOURCE OF THE UNIT UPON DETECTION OF SMOKE WHEN THE TOTAL CFM IS EXCESS OF 2000. 5. PROVIDE POLYMER BYPASS LOCK 'BEST' MODEL 218700 SERIES OR ELECTRIC CYLINDER SWITCH MODEL 1W82 ON ACCESS GATE.

ACCESSIBLE PARKING SCALE: 3/32" = 1'-0"

SITE PLAN

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Project Location: APN: 458-060-46 & 58, Mathews's Harley-Davidson W. Dan Ronquillo Dr. Fresno, CA 93706

Project Title: Proposed Warehouse Mathews's Harley-Davidson Training Center

REGISTERED PROFESSIONAL ENGINEER logo for CARROLL R. HANSON, No. 28193, Exp. 03-31-2020, CIVIL, STATE OF CALIFORNIA

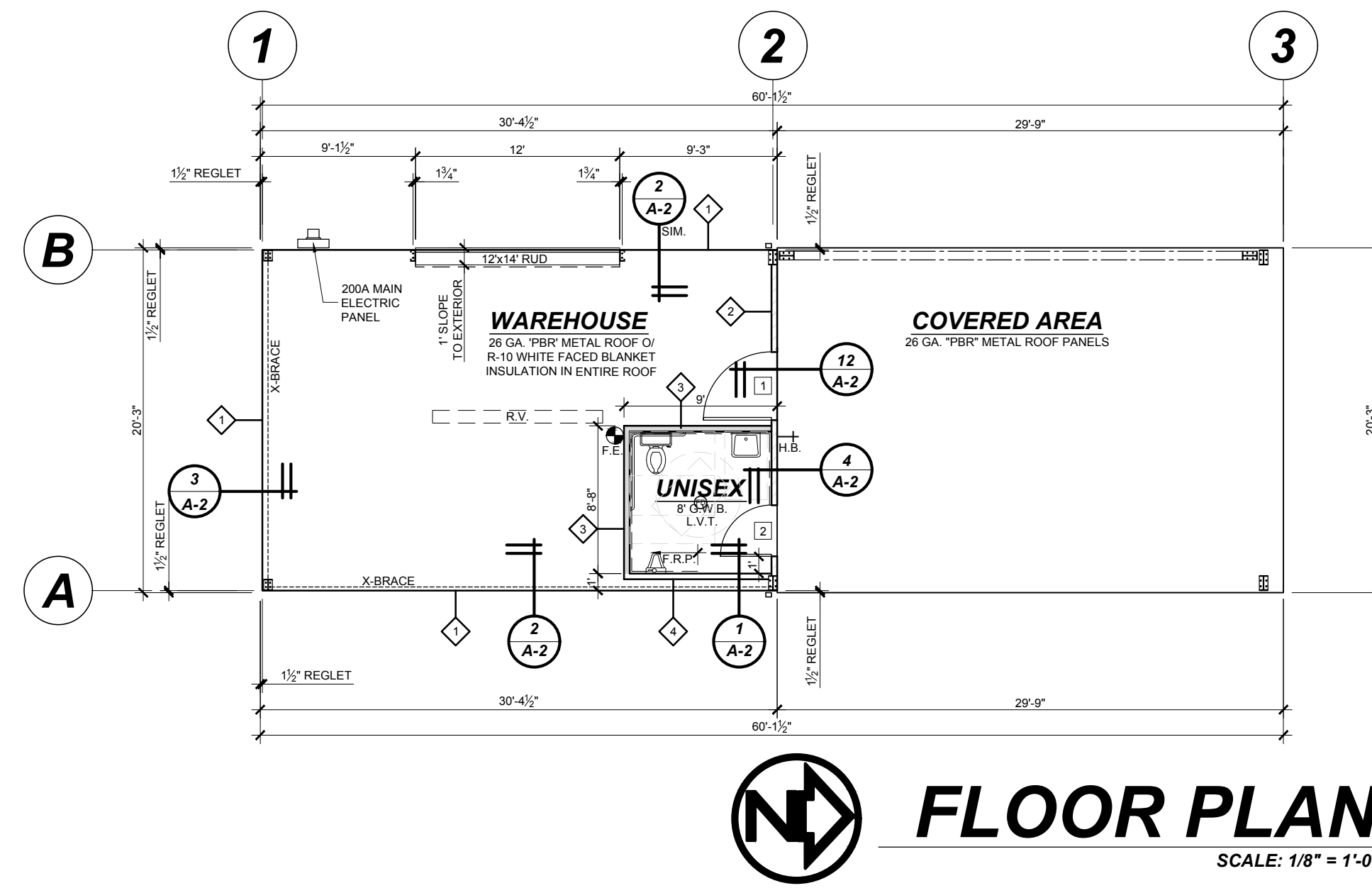
Project Status: SPR 3/1/18

Plan Check Date: Revisions

Job No.: DPA 17-44 Sheet No.:

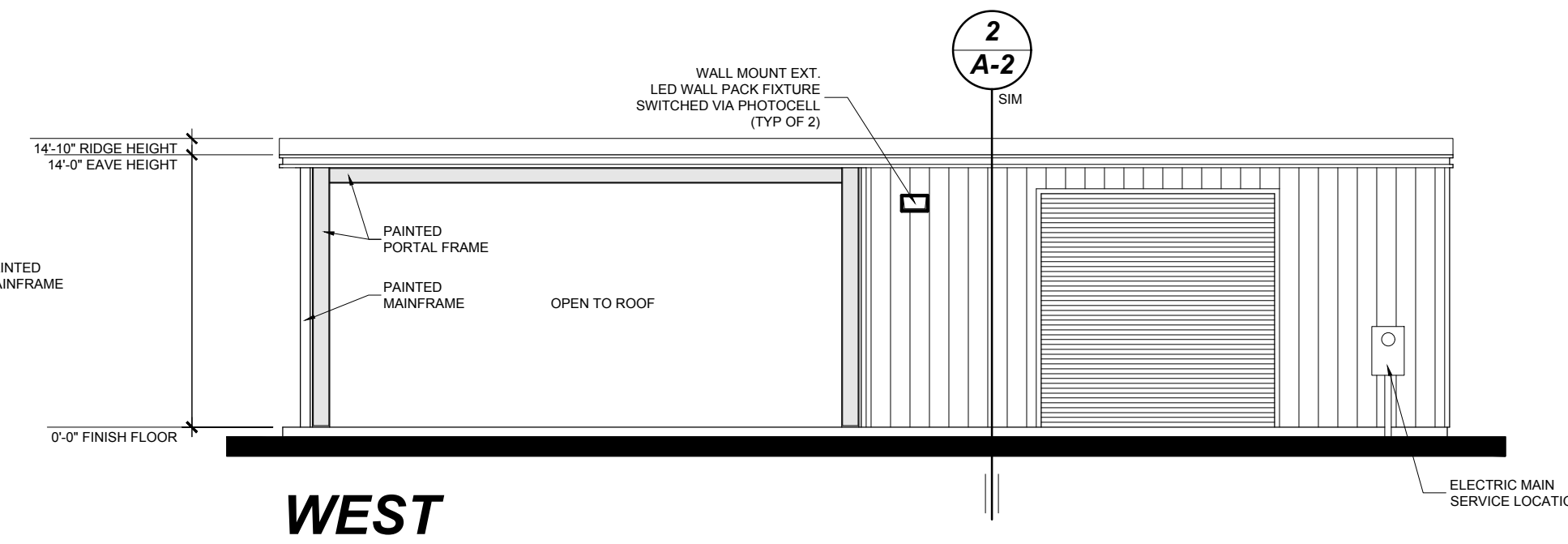
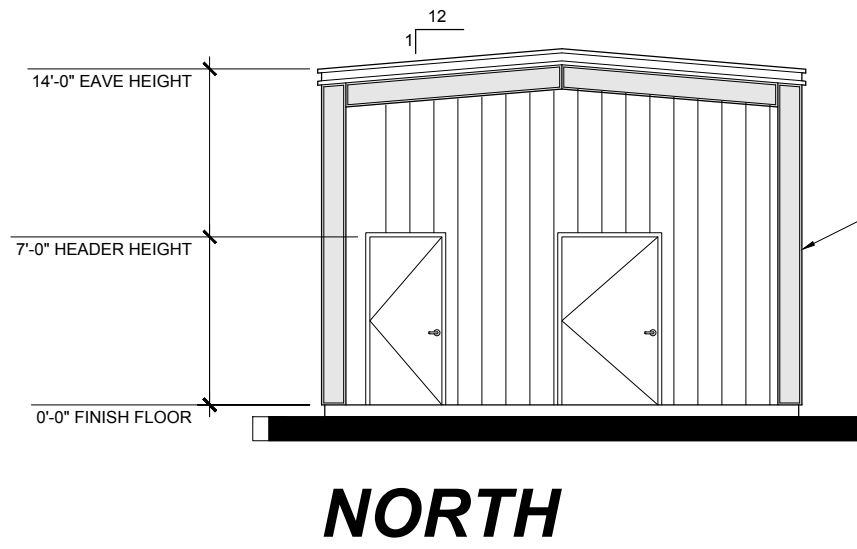
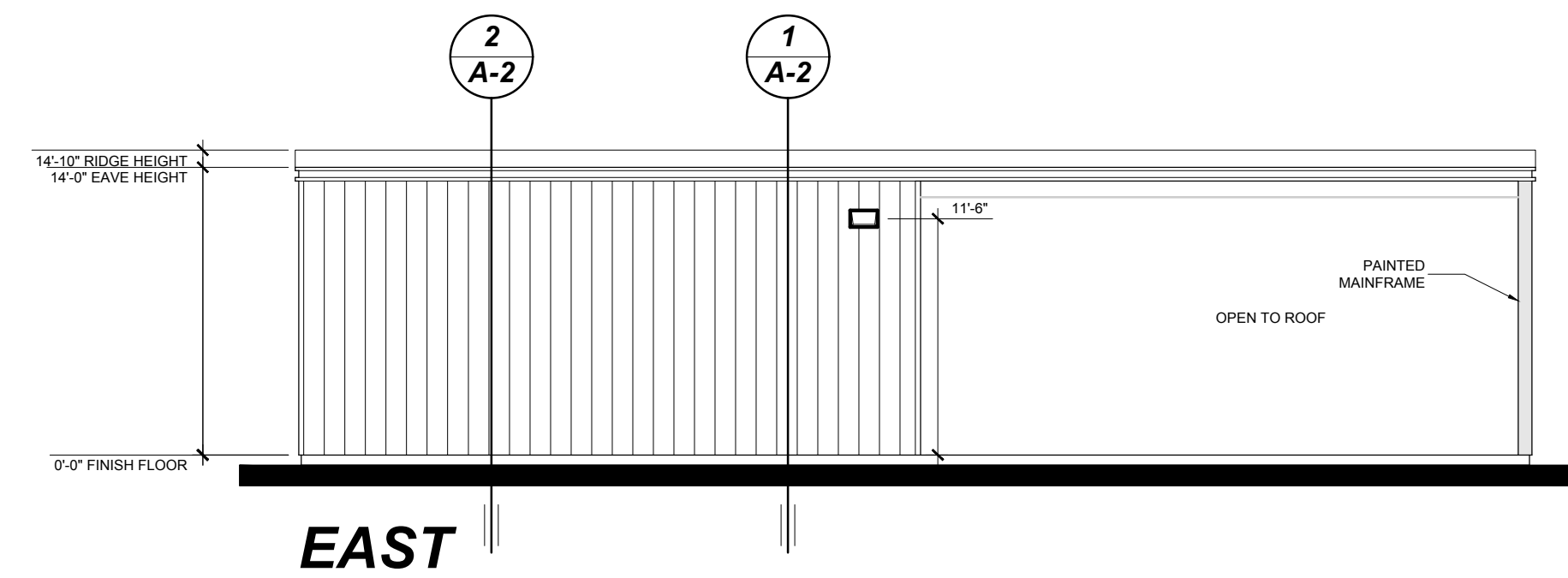
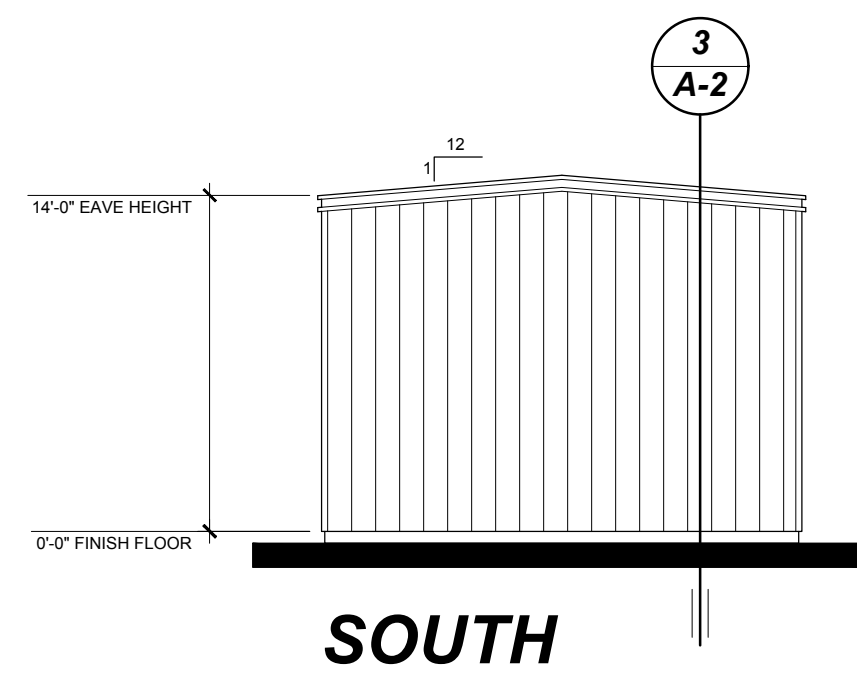
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T:\Jobs\2017\DPA 17-44-B - Mathews HD Training Facility\Building\CAD\Sheets\MHD - A-1 FLOOR PLAN.dwg



**FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

ELEVATION LEGEND		
SYMBOL	DESCRIPTION	NOTES
	METAL ROOF PANEL COLOR: SOLAR WHITE	20 GA. CRRC PRODUCT ID: 0628-0004 SR: C74, SRV: 91 THERMAL EMITTANCE: 0.83
	LOWER METAL WALL PANEL GAUGE AND COLOR T.B.D.	
	ROLL-UP DOOR COLOR: T.B.D.	SEE PLAN FOR SIZE
	WALL HUNG MAIN ELECTRIC SERVICE PANEL	SEE ELECTRIC PLAN FOR DETAILS
	WALL MOUNTED LIGHT FIXTURE	
IF DISCREPANCIES, FLOOR PLAN SHALL TAKE PRECEDENCE OVER ELEVATION		



**EXTERIOR ELEVATIONS**  
SCALE: 1/8" = 1'-0"

GENERAL NOTES	
1. ALL WORK SHALL CONFORM TO THE LATEST EDITION OF CALIFORNIA TITLE 24 CODES.	
2. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.	
3. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE GENERAL CONTRACTOR.	
4. FIREWALL PENETRATIONS SHALL BE FIRESTOPPED w/ 3M FIRE BARRIER CP 25 'N5' OR EQUIVALENT.	
5. DIMENSIONS SHOWN THROUGHOUT THESE CONSTRUCTION DOCUMENTS MATCH DIMENSIONS SHOWN ON THE FLOOR PLAN. ADD 3" OR 1-1/2" WHEN MEASURING FROM THE FORM BOARD TO PROPERLY PLACE THE UNDERGROUND ROUGH PLUMBING AND ELECTRICAL WORK.	
<b>METAL PANEL WALL</b>	<b>BRICK / STONE / STUCCO WALL</b>

DOOR & WINDOW LEGEND			
SYMBOL	DESCRIPTION	SIZE	NOTES
	ROLL-UP DOOR	PER PLAN	PORVENE DOORS (OR EQ.)
	4070 EXTERIOR STEEL SWINGING DOOR w/ SELF-CLOSING HINGES & KEYS LOCK	49-1/4" x 80" ROUGH OPENING	@ OFFICE INTERIOR -TIMELY FRAME -VT INDUSTRIES DOOR (OR EQ.)
	3070 EXTERIOR STEEL SWINGING DOOR w/ SELF-CLOSING HINGES & KEYS LOCK	37-1/4" x 80" ROUGH OPENING	@ BATHROOM DOORS -TIMELY FRAME -VT INDUSTRIES DOOR (OR EQ.) -PER CBC 11B-703.2.6 -1/4" THICK -CONTRASTING COLOR FROM DOOR -CENTERS 60" ABOVE FINISHED FLOOR -UNISEX: 12" TRIANGLE IN 12" CIRCLE -WOMENS: 12" DIAMETER CIRCLE -MENS: EQUILATERAL TRIANGLE 12" EDGES

**DOORS:**  
 - SHALL HAVE LEVER TYPE HARDWARE (CBC 11B-303.4)  
 - LEVER HARDWARE SHALL BE CURVED AND HAVE A RETURN TO WITHIN 1/2" OF DOOR (CBC 1010.1.9.1)  
 - UNLATCHING SHALL NOT REQUIRE MORE THAN ONE OPERATION  
 - MAXIMUM EFFORT TO OPERATE INTERIOR AND EXTERIOR DOORS SHALL NOT EXCEED 5 POUNDS  
 - SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF WRIST TO OPERATE  
 - OPERATING DEVICE (HANDLE, PULL, LATCH, LOCK) SHALL BE 34" TO 44" ABOVE FINISH FLOOR  
 - SHALL HAVE WEATHER STRIPPING AT ALL EXTERIOR DOORS AND OFFICE/WAREHOUSE DEMISING DOORS.  
 - DOOR AT UTILITY ROOM SHALL HAVE PANIC HARDWARE INSTALLED.  
 - NO THUMB LATCHES OR KEYS CYLINDER DEAD BOLTS ALLOWED UNLESS OPERATED BY A SINGLE ACTION LEVER FROM INSIDE AREA SERVED.

FLOOR PLAN LEGEND			
SYMBOL	DESCRIPTION	RATING	NOTES
	FIRE EXTINGUISHER		TYPE 2A:10B:C
	GRAB BAR	54"x42"	ONE-PIECE 1.25"-1.5" DIAMETER 33"-36" TO TOP OF BAR METAL STUD FRAMING BACKING
	RIDGE VENT	12"x10"	
	MAINFRAME COLUMN		REFER TO FOUNDATION PLAN & METAL BUILDING CONTRACTOR DRAWINGS FOR ADDITIONAL INFORMATION
	OPENING JAMB LEG		
	HOSE BIBB		
	TOILET		REFER TO PLUMBING PLAN FOR ADDITIONAL INFORMATION
	URINAL		
	WALL-HUNG LAVATORY		
	FLOOR DRAIN		
	ELECTRIC MAIN SERVICE PANEL		REFER TO ELECTRIC PLAN FOR ADDITIONAL INFORMATION

ALL SYMBOLS ON LEGEND MAY NOT OCCUR. REFER TO PLANS FOR LOCATION AND QUANTITIES.

WALL NOTES	
1. FINISH MATERIALS COMPLY WITH 5.504.4.1 - 5.504.4.7 OF THE CALIFORNIA GREEN BUILDING STANDARDS CODE.	
2. INTERIOR WALL COVERING SHALL MEET FLAME SPREAD CLASS III	
3. PEBBLE FINISH FRP TO 48" ABOVE FINISH FLOOR WHERE OCCURS PER PLAN. SEE WALL LEGEND.	
4. THRESHOLDS OR ANY CHANGE OF FLOORING MATERIAL: - SHALL HAVE A MAXIMUM OFFSET OF 1/2" - OFFSETS GREATER THAN 1/4" SHALL HAVE A BEVELED SLOPE OF 6 & 12 - OFFSETS 1/4" OR LESS MAY BE VERTICAL.	
5. INSULATION: - MAXIMUM FLAME SPREAD OF 25 - MAXIMUM SMOKE RATING OF 450	

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**Project Location:**  
**APN: 458-060-46 & 58**  
**W. Dan Ronquillo Dr.**  
**Fresno, CA 93706**

**Project Title:**  
**Proposed Warehouse**  
**Mathew's Harley-Davidson**  
**Training Center**



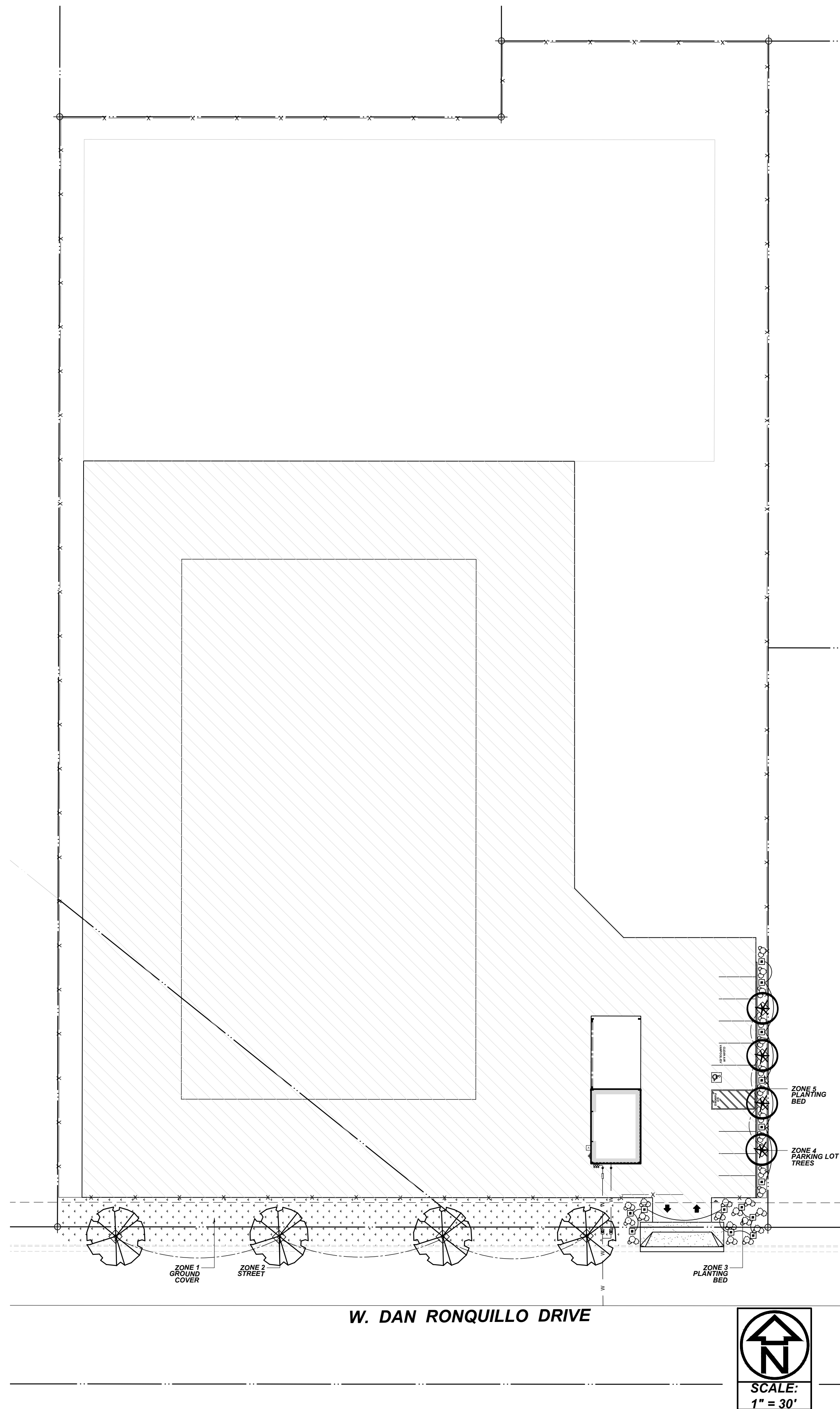
**BROOKS RANSOM ASSOCIATES**  
 STRUCTURAL ENGINEERS  
 CIVIL ENGINEERS  
 7415 N. PALM AVE, SUITE #100  
 FRESNO, CALIFORNIA 93711

Project Status	
SPR	3/1/18
Plan Check Date	
Revisions	

Job No.:  
 DPA 17-44  
 Sheet No.:

**A-1**

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LANDSCAPE & IRRIGATION LEGEND	
SYMBOL	LOCATION
	STREET TREE: 4 TOTAL SPECIES: PISTACIA CHINENSIS COMMON NAME: CHINESE PISTACHE SHADING: (30'-35' @ 100% + 962 SQ. FT.) x 4 = 3848 WUCOLS WATER USE FACTOR: L
	PARKING LOT TREE: 4 TOTAL SPECIES: LAGERSTROEMIA COMMON NAME: CRAPE MYRTLE SHADING: (20'-25' @ 100% + 707 SQ. FT.) x 4 = 2828 WUCOLS WATER USE FACTOR: L
	VARIOUS FLOWERING SCRUBS AS SELECTED BY OWNER
	DWARF FIGUE
	FLOOR BUBBLER AND MAIN LINE
	DRIP EMITTER
	AUTOMATIC IRRIGATION CONTROLLER W/ RAIN SENSOR
	SURFACE DRIP LINE

### LANDSCAPE NOTES

- OWNER TO PROVIDE A DRIP IRRIGATION SYSTEM TO EACH STREET TREE BEFORE OCCUPANCY. THE IRRIGATION SYSTEM SHALL COMPLY WITH FMC 12-306 N-23.
- STREET TREES SHALL BE PLANTED BY THE PROPERTY OWNER. THE APPROVED LANDSCAPE PLAN SHALL SERVE AS A STREET TREE PLANTING PERMIT AND SHALL BE AT THE JOB SITE AT ALL TIMES. NOTIFY THE PARKS DIVISION TO VERIFY TREE PLANTING LOCATIONS 72 HOURS PRIOR TO ANY EXCAVATION (621-2927).
- TREES LOCATED IN THE RIGHT OF WAY SHALL BE LOCATED WITH THE FOLLOWING MINIMUM SETBACKS:  
- 30' FROM STREET CORNERS FOR VISIBILITY & 15' FROM DRIVEWAYS, STOP SIGNS, ALLEYS, LIGHT POLES AND POWER POLES.  
- 12' FROM FIRE HYDRANTS AND 8' FROM SEWER LINES.  
- 5' FROM BUILDING OVERHANGS AND 2' FROM ADJACENT CONCRETE AND ADJOINING PROPERTY LINES.  
- 3' FROM GAS, ELECTRICAL, WATER LINES, AND ROOF DRAINS.
- DRILLING TO PIERCE HARDPAN SHALL BE REQUIRED PRIOR TO PLANTING EACH STREET TREE. NOTIFY PARKS INSPECTOR (621-2927) TWO WORKING DAYS IN ADVANCE OF DRILLING DATE FOR INSPECTION OF DRILLING OPERATIONS AND TO CHECK BACKFILLING PROCEDURES AND SAFETY BARRIERS.
- DRILLING SHALL BE COMPLETED WITHIN THE 14 DAYS FOR WHICH CLEARANCE WAS OBTAINED FOR APPROVED LOCATIONS. HOLES SHALL BE 2 FEET IN DIAMETER AND DRILLED TO A DEPTH WHERE VISUAL EVIDENCE OF THE SUBSURFACE SAND OR GRAVEL DRAINAGE STRATUM IS APPARENT. THE DRAINAGE HOLE SHALL BE DRILLED TO A MINIMUM OF 10 FEET DEEP. IMMEDIATELY FOLLOWING DRILLING, THE HOLE SHALL BE BACKFILLED WITH SOIL DRILLED FROM THE HOLE, USING SUFFICIENT WATER TO THOROUGHLY SATURATE THE BACKFILL MATERIAL. IMMEDIATELY FOLLOWING BACKFILLING, THE WHITE SPOT DESIGNATING THE PLANTING SITE SHALL BE PAINTED BLACK TO INDICATE THE SITE HAS BEEN DRILLED. THE DRILLED SITES ARE BARRICADED AND CHECKED DAILY FOR 5 WORKING DAYS FOR SOIL SETTLING. SOIL LEVELS ARE ADJUSTED AS NECESSARY DURING THIS TIME. AFTER 7 DAYS, THE BARRICADES AND EXCESS SOIL ARE REMOVED. SOIL SHALL BE ALLOWED TO SETTLE FOR A MINIMUM OF 20 DAYS PRIOR TO PLANTING.
- TREES SHALL BE MAINTAINED IN GOOD HEALTH. HOWEVER, TREES MAY NOT BE TRIMMED OR PRUNED TO REDUCE THE NATURAL HEIGHT OR OVERALL CROWN OF THE TREE, EXCEPT AS NECESSARY FOR THE HEALTH OF THE TREE AND PUBLIC SAFETY, OR AS MAY OTHERWISE BE APPROVED BY THE DEVELOPMENT DEPARTMENT.
- PRIOR TO FINAL INSPECTION, A WRITTEN CERTIFICATION, SIGNED BY A LANDSCAPE PROFESSIONAL APPROVED BY THE DIRECTOR, SHALL BE SUBMITTED STATING THAT THE REQUIRED LANDSCAPING AND IRRIGATION SYSTEM WAS INSTALLED IN ACCORDANCE WITH THE LANDSCAPING AND IRRIGATION PLANS APPROVED BY THE DEVELOPMENT SERVICES DIVISION, DEVELOPMENT DEPARTMENT.
- LANDSCAPING MUST BE IN PLACE BEFORE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
- IRRIGATION CONTROLLER SHALL BE WEATHER OR SOIL MOISTURE BASED THAT AUTOMATICALLY ADJUSTS IRRIGATION IN RESPONSE TO PLANTS NEEDS AS WEATHER CONDITIONS CHANGE.
- IRRIGATION CONTROLLER SHALL HAVE A RAIN SENSOR.
- THE RP DEVICE SHALL BE TESTED AND APPROVED BY A CERTIFIED AWWA OR ABPA TESTER WITHIN 5 DAYS OF INSTALLATION. THIS BUILDING WILL NOT BE GRANTED OCCUPANCY UNTIL A LEAD FREE RP DEVICE IS TESTED AND DOCUMENTED WITH THE CITY OF FRESNO PUBLIC UTILITIES WATER DIVISION BACKFLOW COORDINATOR, DELIVER OR MAIL, PUBLIC UTILITIES WATER DIVISION. A LIST OF CERTIFIED TESTERS CAN BE OBTAINED BY CALLING (559) 621-5353. TEST RESULTS CAN BE SUBMITTED TO THE CITY OF FRESNO'S WEB SITE AT: [www.fresno.gov/Government/DepartmentDirectory/PublicUtilities/WaterManagement/Conservation/backflow](http://www.fresno.gov/Government/DepartmentDirectory/PublicUtilities/WaterManagement/Conservation/backflow) OR BY FAX: (559) 498-1533.
- DESIGN AND INSTALL IRRIGATION SYSTEM TO PREVENT SPRAY ON BUILDING.
- I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR EFFICIENT USE OF WATER IN THE LANDSCAPE PLAN.

NICHOLAS CRAWFORD - DON PICKETT & ASSOCIATES

### WATER BUDGET

MAXIMUM APPLIED WATER ALLOWANCE CALCULATIONS			
LOCATION	FRESNO	NAME OF CITY	
Eto OF CITY: APPENDIX A	51.1	Eto (INCHES/YEAR)	
TOTAL LANDSCAPE AREA	5751	LA (SQ. FT.)	
SPECIAL LANDSCAPE AREA	0	SLA (SQ.FT)	

**RESULTS:**

MAWA = (Eto) x (0.62) x	100211.75	GALLONS
[(0.55 x LA) + (0.45 x SLA)]	13396.41	CUBIC FEET
	133.96	HCF
	0.31	ACRE FEET
<b>MAWA</b>	0.10	MILLIONS OF GALLONS

PLANT WATER USE TYPE	PLANT FACTOR
LOW	0 - 0.3
MEDIUM	0.4 - 0.6
HIGH	0.7 - 1.0

ESTIMATED TOTAL WATER USE - ETWU				
IRRIGATION EFFICIENCY	0.71	IE		
HYDROZONE	PLANT	PLANT	HYDROZONE	PF x HA
1	LOW	0.2	4426	885.2
2	LOW	0.2	200	40
3	LOW	0.4	625	250
4	LOW	0.2	200	40
5	LOW	0.4	300	120
6				
7				
8				
9				
10				
	SUM		5751	1335.2

**RESULTS**

ETWU = (Eto) x (.62) x	59580.01	GALLONS
[(PFxHA/IE)+SLA]	7964.72	CUBIC FEET
	79.65	HCF
	0.18	ACRE-FEET
<b>ETWU</b>	0.06	MILLIONS OF GALLONS

**ETWU COMPLIES WITH MAWA**

# LANDSCAPE PLAN

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REGISTERED PROFESSIONAL ENGINEER  
 CAROL R. HANSON  
 No. 28193  
 Exp. 03-31-2020  
 CIVIL  
 STATE OF CALIFORNIA

**Project Status**  
 SPR 3/1/18  
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# L-1