

PROJECT DESCRIPTION:

CONSTRUCTION OF TELECOMMUNICATIONS AND PUBLIC UTILITY FACILITY, CONSISTING OF A 75'-0" MONOPINE, SPACE FOR CARRIER EQUIPMENT, AND A UTILITY BACKBOARD WITHIN A FENCED COMPOUND. NO WATER OR SEWER IS REQUIRED. THIS WILL BE AN UNMANNED FACILITY.

CODE COMPLIANCE:

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE LATEST EDITIONS OF THE FOLLOWING:

1. 2016 CALIFORNIA BUILDING CODE
2. 2016 CALIFORNIA TITLE 24
3. 2016 CALIFORNIA FIRE CODE
4. 2016 CALIFORNIA ENERGY CODE
5. 2016 CALIFORNIA MECHANICAL CODE
6. TIA/EIA-222-F OR LATEST EDITION



US-CA-5117 De SANTIS
210 WEST NAPA VALLEY AVE.
FRESNO, CA 93706
75' MONOPINE

APPROVAL BLOCK		APPROVED	APPROVED AS NOTED	DISAPPROVE / REVISE
VERTICAL BRIDGE	DATE	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
SITE ACQUISITION	DATE	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
CONSTRUCTION MANAGER	DATE	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
PERMITTING	DATE	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
RF ENGINEERING	DATE	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

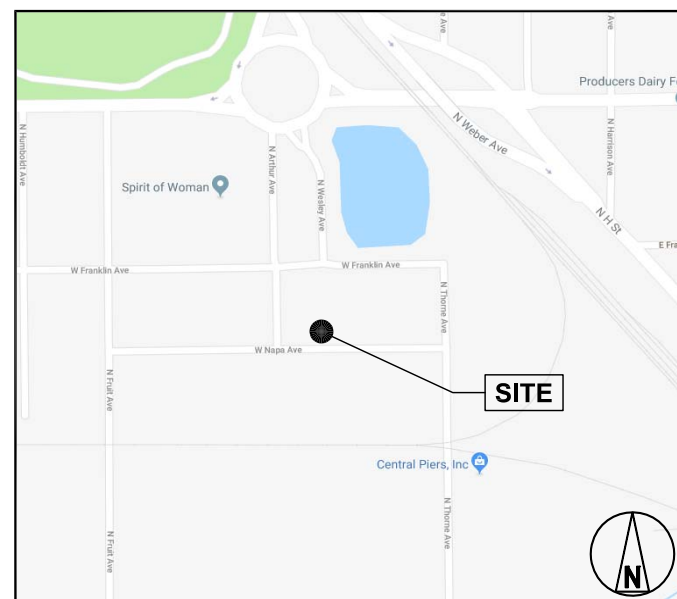


750 PARK OF COMMERCE DRIVE
 SUITE 200 | BOCA RATON, FL | 33487
 561.948.6367



4431 TOWN CENTER PLACE
 KINGWOOD, TX | 77339
 KYLE@AMSWIRELESS.ROCKS
 270.316.7546

SC08775B DE SANTIS



VICINITY MAP
 N.T.S.

DRAWING INDEX			
DRWG. #	TITLE	REV. #	DATE
T1	TITLE SHEET	-	10/01/18
S1	SURVEY (BY OTHERS)	-	8/23/18
S2	SURVEY (BY OTHERS)	-	8/23/18
Z1	OVERALL SITE PLAN	-	10/01/18
Z2	COMPOUND PLAN & TOWER ELEVATION	-	10/01/18
Z3	DETAILS	-	7/25/18
Z4	GENERATOR DETAILS	-	10/01/18
Z5	GENERATOR DETAILS	-	10/01/18



LOCATION MAP
 N.T.S.

PROJECT INFORMATION	
SITE NAME:	De SANTIS
SITE NUMBER:	US-CA-5117
SITE ADDRESS:	210 WEST NAPA VALLEY AVE. FRESNO, CA 93706
PARCEL #:	458-162-015
DEED REFERENCE:	INSTRUMENT NO. 2003-0236887
ZONING CLASSIFICATION:	LIGHT INDUSTRIAL
ZONING JURISDICTION:	FRESNO COUNTY
GROUND ELEVATION:	284.2'
STRUCTURE TYPE:	MONOPINE
STRUCTURE HEIGHT:	75'-0"
CONSTRUCTION AREA:	1,600 SQ. FT.
LATITUDE (NAD 83):	36.747733° (36° 44' 51.84" N)
LONGITUDE:	-119.814692° (119° 48' 52.89" W)

DIG ALERT:
 CALL FOR UNDERGROUND UTILITIES PRIOR TO DIGGING:

811
EMERGENCY:
 CALL 911

PROJECT DIRECTORY	
PROPERTY OWNER:	PAT DE SANTIS PO BOX 1095 FRESNO, CA 93706 (559) 248-0292
APPLICANT:	VERTICAL BRIDGE 750 PARK OF COMMERCE DRIVE, SUITE 200 BOCA RATON, FL 33487
CONTACT:	KRIS VON HOETZENDORFF (948) 212-2036
ENGINEER:	AMS WIRELESS (270) 316-7546
POWER COMPANY:	TBD
TELCO COMPANY:	TBD

10	EQUIPMENT UPDATE	CM	10/01/18
9	EQUIPMENT UPDATE	CM	09/10/18
8	CITY COMMENTS	CM	08/28/18
7	CITY COMMENTS	CM	07/25/18
6	DETAILS ADDED	CM	06/19/18
5	UPDATE PER REDLINES	CM	06/19/18
4	COMPOUND CHANGE	CM	04/25/18
3	UPDATED SURVEY	CM	04/17/18
2	ISSUED FOR REVIEW	CM	04/11/18
NO.	SUBMITTAL / REVISION	APPD	DATE

DRAWN: KE DATE: 03/28/18
 DESIGNED: KE DATE: 03/30/18
 CHECKED: CM DATE: 03/30/18

PROJECT NUMBER: 03-1047

PROJECT TITLE:
US-CA-5117
De SANTIS
210 WEST NAPA VALLEY AVE
FRESNO, CA 93706

ENGINEER STAMP:

DRAWING TITLE:
TITLE SHEET

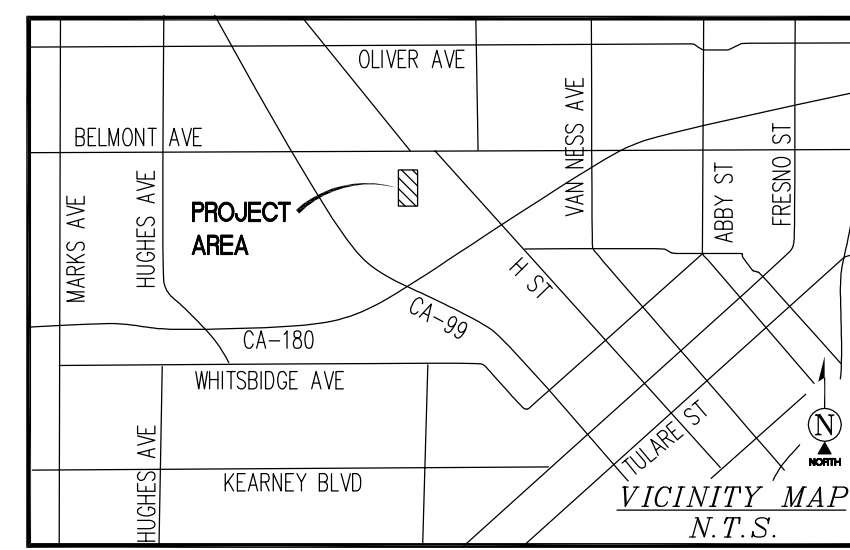
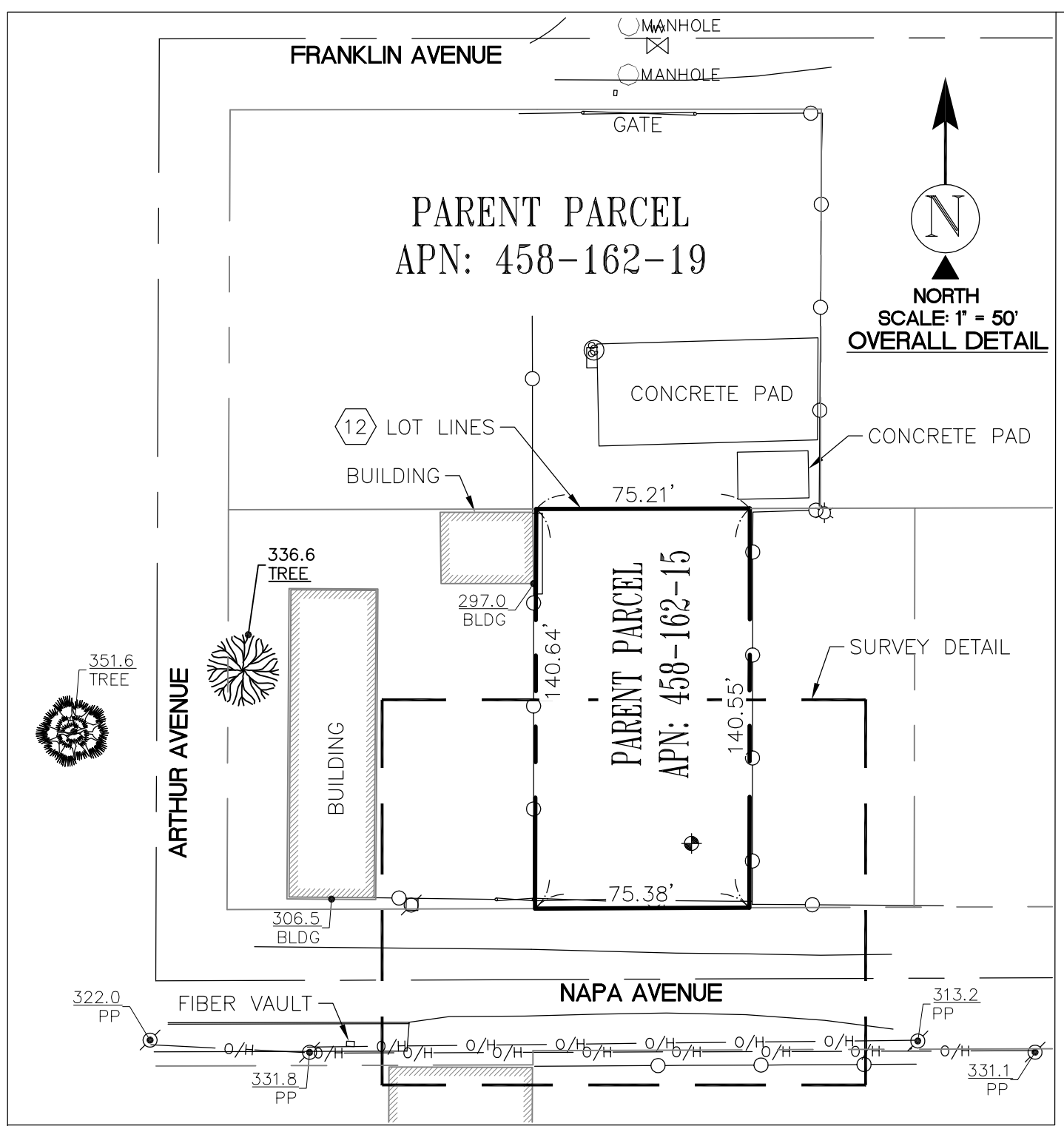
DRAWING SCALE:
 AS NOTED
 DATE:
 08/28/2018

ZONING

UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF APPLICABLE STATE AND / OR LOCAL LAWS

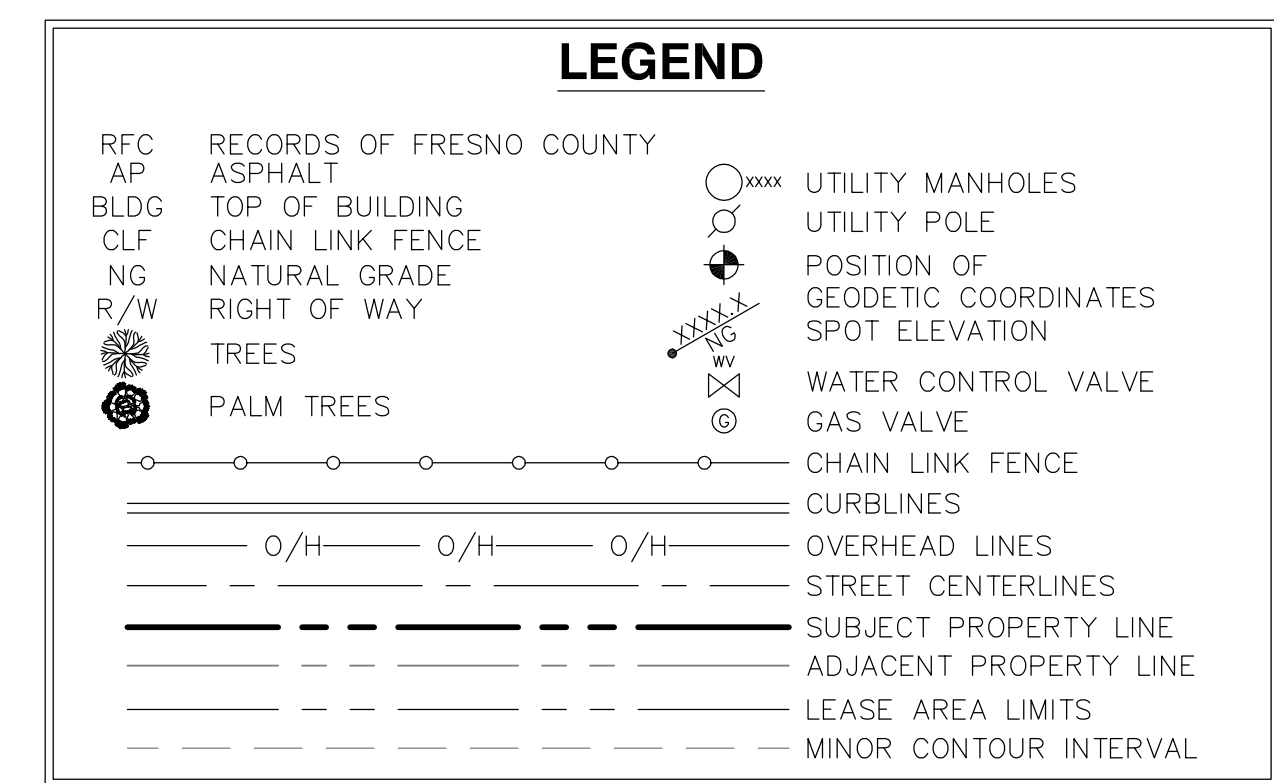
DRAWING NUMBER:

T1



POSITION OF GEODETIC COORDINATES
 LATITUDE 36° 44' 51.84" (36.747733°) NORTH (NAD83)
 LONGITUDE 119° 48' 52.89" (119.814692°) WEST (NAD83)
 GROUND ELEVATION @ 284.2' (NAVD88)

LEGAL DESCRIPTION
 LOT 6 OF NAPA TRACT, IN THE CITY OF FRESNO, COUNTY OF FRESNO, STATE OF CALIFORNIA, ACCORDING TO THE MAP THEREOF RECORDED IN BOOK 5, PAGE 54 OF RECORD OF SURVEYS, FRESNO COUNTY RECORDS. EXCEPTING THEREFROM THE EAST 58 FEET THEREOF, AND BEING THE SAME PROPERTY CONVEYED TO PASQUALE DESANTIS AND CARMELA DESANTIS, AS TRUSTEES OF THE DESANTIS FAMILY TRUST DATED AUGUST 13, 2003 FROM JAWDAR TAHAN AND JULIANA BULOS TAHAN BY GRANT DEED DATED SEPTEMBER 11, 2003 AND RECORDED SEPTEMBER 30, 2003 IN INSTRUMENT NO. 2003-0236887.



SURVEY DATE
 03/06/2018

BASIS OF BEARING
 BEARINGS SHOWN HEREON ARE BASED UPON U.S. STATE PLANE NAD83 COORDINATE SYSTEM CALIFORNIA STATE PLANE COORDINATE ZONE FOUR, DETERMINED BY GPS OBSERVATIONS.

BENCHMARK
 PROJECT ELEVATIONS ESTABLISHED FROM GPS DERIVED ORTHOMETRIC HEIGHTS BY APPLICATION OF NGS 'GEOID 12B' MODELED SEPARATIONS TO ELLIPSOID HEIGHTS DETERMINED BY OBSERVATIONS OF THE 'SMARTNET' REAL TIME NETWORK. ALL ELEVATIONS SHOWN HEREON ARE REFERENCED TO NAVD88.

FLOOD ZONE
 THIS PROJECT APPEARS TO BE LOCATED WITHIN FLOOD ZONE "X", ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP(S), MAP ID #06019C2105H, DATED 02/18/2009

NO PORTION OF THIS PROPERTY IS LOCATED IN A SPECIAL FLOOD AREA.

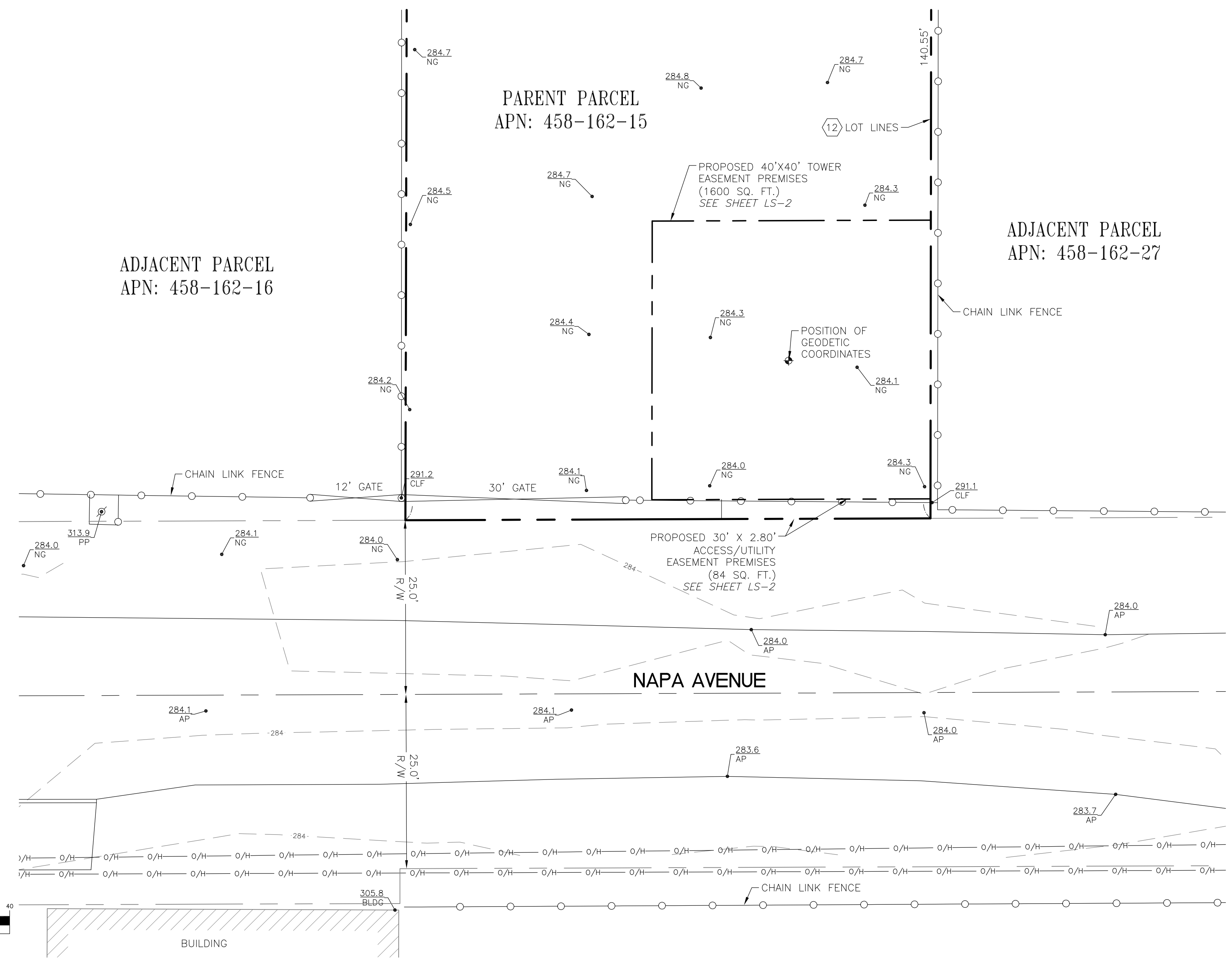
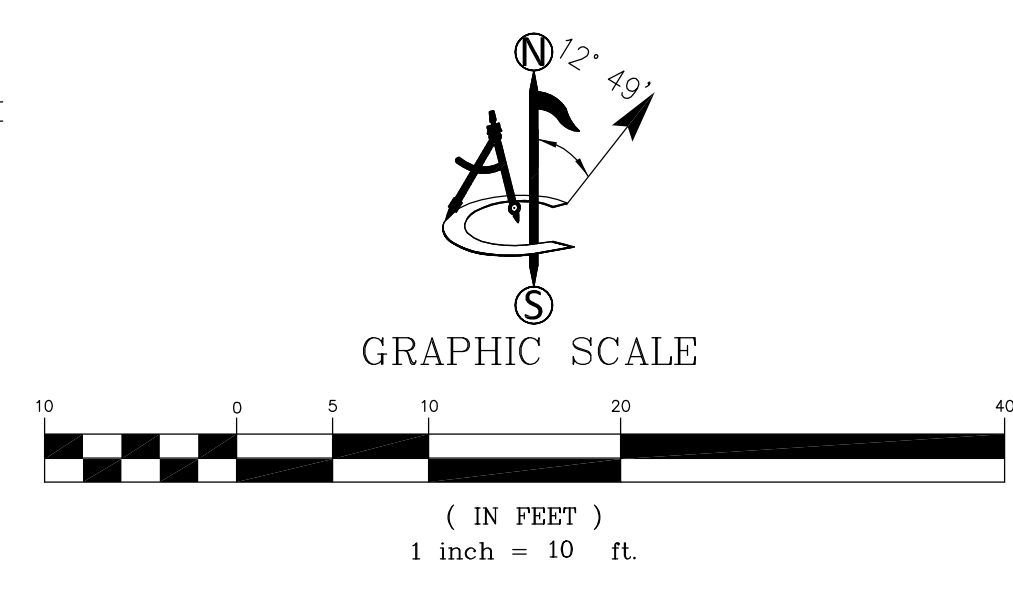
UTILITY NOTES
 SURVEYOR DOES NOT GUARANTEE THAT ALL UTILITIES ARE SHOWN OR THEIR LOCATIONS ARE DEFINITE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND DEVELOPER TO CONTACT BLUE STAKE AND ANY OTHER INVOLVED AGENCIES TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. REMOVAL, RELOCATION AND/OR REPLACEMENT IS THE RESPONSIBILITY OF THE CONTRACTOR.

WETLANDS NOTE
 NO WETLAND AREAS HAVE BEEN INVESTIGATED BY THIS EASEMENT SURVEY.

LESSOR'S LEGAL DESCRIPTION
 TO BE PROVIDED BY TITLE.

TITLE NOTE
 THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT WHICH MAY REVEAL ADDITIONAL CONVEYANCES, EASEMENTS OR RIGHTS OF WAY NOT SHOWN HEREON.

ZONING
 LIGHT INDUSTRIAL
 ALL ZONING INFORMATION SHOULD BE VERIFIED WITH THE PROPER ZONING OFFICIALS.



PROJECT INFORMATION:

SITE NAME:
FRESNO WEST

SITE ID:
CA-5117

SITE ADDRESS:
 151 W. FRANKLIN AVENUE
 FRESNO, CA 93706
 FRESNO COUNTY

Rev:	Date:	Description:	By:
A	03/12/2018	PRELIMINARY	CK
0	03/21/2018	ADD TITLE & DESIGN	LO
1	04/17/2018	ACCESS/UTILITY ESMT.	MF
2	08/23/2018	COMMENTS (C)	MF

LAND SURVEY PREPARED BY:

428 MAIN STREET
 SUITE 206
 HUNTINGTON BEACH, CA 92648
 PH. (480) 659-4072
 www.ambitconsulting.us

LICENSURE NO:

ALL SCALES ARE SET FOR 22"x34" SHEET

DRAWN BY:	CHK BY:	APV BY:
CK	SR	BC

Sheet Title:

SITE SURVEY

Sheet Number:

LS-1

NOTES CORRESPONDING TO SCHEDULE B – SECTION II

REFERENCE IS MADE TO FIDELITY NATIONAL TITLE INSURANCE COMPANY COMMITMENT NO. 26572899, DATED DECEMBER 28, 2017 AT 8:00AM. ALL EASEMENTS CONTAINED WITHIN SAID TITLE REPORT AFFECTING THE IMMEDIATE AREA SURROUNDING THE LEASE HAVE BEEN PLOTTED. ITEMS 1-3, 8 & 9 ARE NOT SURVEY ITEMS.

4. ANY FACTS, RIGHTS, INTERESTS, OR CLAIMS THAT ARE NOT SHOWN BY THE PUBLIC RECORDS BUT THAT COULD BE ASCERTAINED BY AN INSPECTION OF THE LAND OR THAT MAY BE ASSERTED BY PERSONS IN POSSESSION OF THE LAND.
(NOT MAPPABLE – EXACT LOCATION NOT PROVIDED – UNKNOWN EFFECT)
5. EASEMENTS, LIENS OR ENCUMBRANCES, OR CLAIMS THEREOF, NOT SHOWN BY THE PUBLIC RECORDS.
(NOT MAPPABLE – EXACT LOCATION NOT PROVIDED – UNKNOWN EFFECT)
6. ANY ENCROACHMENT, ENCUMBRANCE, VIOLATION, VARIATION, OR ADVERSE CIRCUMSTANCE AFFECTING THE TITLE THAT WOULD BE DISCLOSED BY AN ACCURATE AND COMPLETE LAND SURVEY OF THE LAND AND NOT SHOWN BY THE PUBLIC RECORDS.
(NOT MAPPABLE – EXACT LOCATION NOT PROVIDED – UNKNOWN EFFECT)
7. (A) UNPATENTED MINING CLAIMS; (B) RESERVATIONS OR EXCEPTIONS IN PATENTS OR IN ACTS AUTHORIZING THE ISSUANCE THEREOF; (C) WATER RIGHT, CLAIMS OR TITLE TO WATER, WHETHER OR NOT THE MATTERS EXCEPTED UNDER (A), (B) OR (C) ARE SHOWN BY THE PUBLIC RECORDS.
(NOT MAPPABLE – EXACT LOCATION NOT PROVIDED – UNKNOWN EFFECT)
10. THE HEREIN DESCRIBED PROPERTY LIES WITHIN THE BOUNDARIES OF THE FRESNO METROPOLITAN FLOOD CONTROL DISTRICT AND MAY BE SUBJECT TO ASSESSMENT FOR DRAINAGE FEES AND/OR REQUIREMENTS TO CONSTRUCT PLANNED LOCAL DRAINAGE FACILITIES
DISCLOSED BY: FMFCD RESOLUTION NO. 1816
RECORDING DATE: JULY 31, 1995
RECORDING NO.: 95092128, OF OFFICIAL RECORDS
(NOT MAPPABLE – BLANKET IN NATURE – UNKNOWN EFFECT)

NOTES CORRESPONDING TO SCHEDULE B – SECTION II

11. A NOTICE THAT SAID LAND IS INCLUDED WITHIN A PROJECT AREA OF THE REDEVELOPMENT AGENCY SHOWN BELOW, AND THAT PROCEEDINGS FOR THE REDEVELOPMENT OF SAID PROJECT HAVE BEEN INSTITUTED UNDER THE REDEVELOPMENT LAW (SUCH REDEVELOPMENT TO PROCEED ONLY AFTER THE ADOPTION OF THE REDEVELOPMENT PLAN) AS DISCLOSED BY A DOCUMENT
RECORDING DATE: AUGUST 15, 1996
RECORDING NO.: 96107262, OF OFFICIAL RECORDS
REDEVELOPMENT AGENCY: ROEDING BUSINESS PARK REDEVELOPMENT PROJECT
(NOT MAPPABLE – BLANKET IN NATURE – UNKNOWN EFFECT)
12. ANY DISCREPANCIES IN BOUNDARY OR ANY RIGHTS WHICH MAY ARISE OR EXIST WHICH ARE DISCLOSED BY RECORD OF SURVEY: BOOK 45, PAGE 10
RECORDED: NOVEMBER 14, 2000
AFFECTS: THIS AND OTHER LAND
(SHOWN HEREON – LOT LINES)
13. A NOTICE THAT SAID LAND IS INCLUDED WITHIN A PROJECT AREA OF THE REDEVELOPMENT AGENCY SHOWN BELOW, AND THAT PROCEEDINGS FOR THE REDEVELOPMENT OF SAID PROJECT HAVE BEEN INSTITUTED UNDER THE REDEVELOPMENT LAW (SUCH REDEVELOPMENT TO PROCEED ONLY AFTER THE ADOPTION OF THE REDEVELOPMENT PLAN) AS DISCLOSED BY A DOCUMENT
RECORDING DATE: DECEMBER 12, 2007
RECORDING NO.: 2007-0219954, OF OFFICIAL RECORDS
REDEVELOPMENT AGENCY: REDEVELOPMENT AGENCY OF THE CITY OF FRESNO
AND RECORDING DATE: MARCH 11, 2008
AND RECORDING NO.: 2008-0035459, OF OFFICIAL RECORDS
(NOT MAPPABLE – BLANKET IN NATURE – UNKNOWN EFFECT)

LEGAL DESCRIPTION FOR PROPOSED LEASE AREA

DESCRIPTION FOR A VERTICAL BRIDGE 40'x40' LEASE AREA, LYING WITHIN LOT 6 OF NAPA TRACT, RECORDED IN BOOK 5, PAGE 54 OF THE RECORDS OF THE COUNTY OF FRESNO, STATE OF CALIFORNIA, BEING MORE FULLY DESCRIBED AS FOLLOWS:

COMMENCING AT A REBAR WITH PLASTIC YELLOW CAP "PLS 6360" FOUND AT THE SOUTHWEST CORNER OF THE EAST 58 FEET OF SAID LOT 6, FROM WHICH A REBAR WITH PLASTIC YELLOW CAP "PLS 6360" FOUND AT THE SOUTHWEST CORNER OF LOT 5 OF SAID NAPA TRACT BEARS S 89°47'44" W, A DISTANCE OF 184.19 FEET;

THENCE, ALONG THE WEST LINE OF THE EAST 58 FEET OF SAID LOT 6, N 00°04'35" E, A DISTANCE OF 2.80 FEET TO THE POINT OF BEGINNING;

THENCE, PARALLEL WITH THE SOUTH LINE OF SAID LOT 6, S 89°47'44" W, A DISTANCE OF 40.00 FEET;

THENCE, PARALLEL WITH THE WEST LINE OF EAST 58 FEET OF SAID LOT 6, N 00°04'35" E, A DISTANCE OF 40.00 FEET;

THENCE, PARALLEL WITH THE SOUTH LINE OF SAID LOT 6, N 89°47'44" E, A DISTANCE OF 40.00 FEET TO THE WEST LINE OF THE EAST 58 FEET OF SAID LOT 6;

THENCE, ALONG THE WEST LINE OF THE EAST 58 FEET OF SAID LOT 6, S 00°04'35" W, A DISTANCE OF 40.00 FEET TO THE POINT OF BEGINNING, CONTAINING 1600 SQUARE FEET OR 0.037 ACRES OF LAND, MORE OR LESS.

LEGAL DESCRIPTION FOR PROPOSED ACCESS/UTILITY EASEMENT

DESCRIPTION FOR A VERTICAL BRIDGE ACCESS/UTILITY EASEMENT, LYING WITHIN LOT 6 OF NAPA TRACT, RECORDED IN BOOK 5, PAGE 54 OF THE RECORDS OF THE COUNTY OF FRESNO, STATE OF CALIFORNIA, BEING MORE FULLY DESCRIBED AS FOLLOWS:

BEGINNING AT A REBAR WITH PLASTIC YELLOW CAP "PLS 6360" FOUND AT THE SOUTHWEST CORNER OF THE EAST 58 FEET OF SAID LOT 6, FROM WHICH A REBAR WITH PLASTIC YELLOW CAP "PLS 6360" FOUND AT THE SOUTHWEST CORNER OF LOT 5 OF SAID NAPA TRACT BEARS S 89°47'44" W, A DISTANCE OF 184.19 FEET;

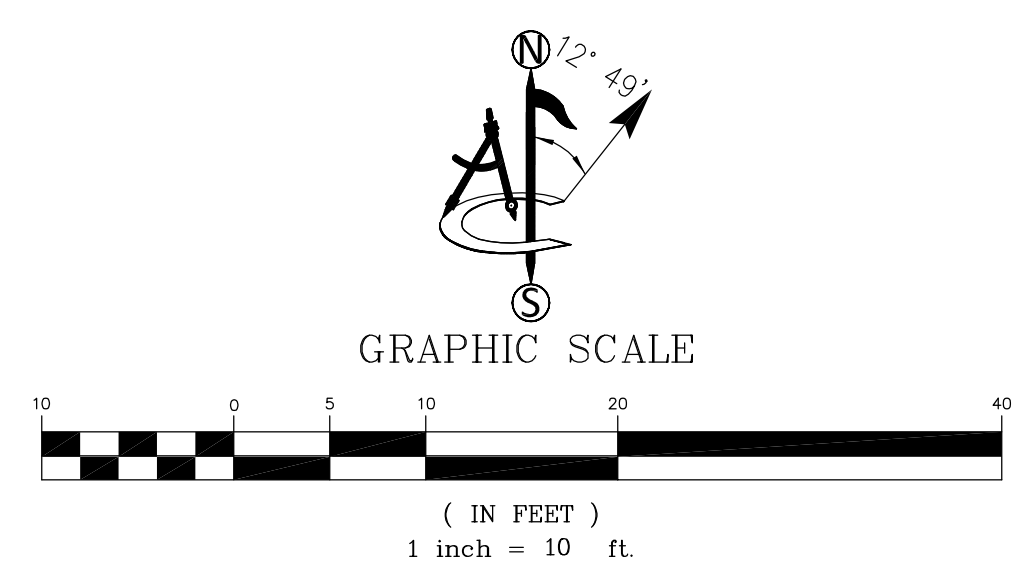
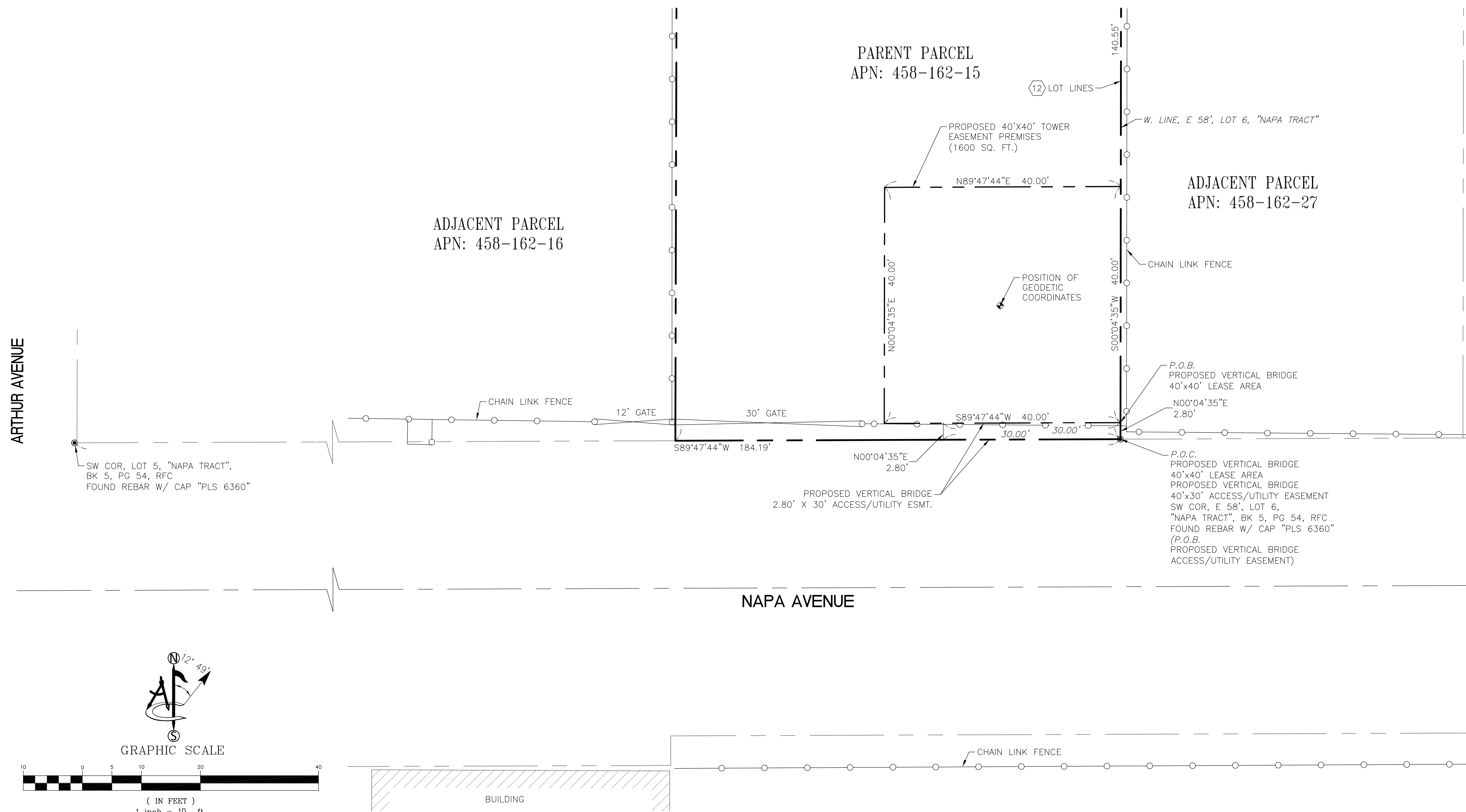
THENCE, ALONG THE SOUTH LINE OF SAID LOT 6, S 89°47'44" W, A DISTANCE OF 30.00 FEET;

THENCE, PARALLEL WITH THE WEST LINE OF THE EAST 58 FEET OF SAID LOT 6, N 00°04'35" E, A DISTANCE OF 2.80 FEET;

THENCE, PARALLEL WITH THE SOUTH LINE OF SAID LOT 6, N 89°47'44" E, A DISTANCE OF 30.00 FEET;

THENCE, S 00°04'35" W, A DISTANCE OF 2.80 FEET TO THE POINT OF BEGINNING,

CONTAINING 84 SQUARE FEET OF LAND, MORE OR LESS.



PROJECT INFORMATION:

SITE NAME:
FRESNO WEST

SITE ID:
CA-5117

SITE ADDRESS:
151 W. FRANKLIN AVENUE
FRESNO, CA 93706
FRESNO COUNTY

Rev:	Date:	Description:	By:
A	03/12/2018	PRELIMINARY	CK
0	03/21/2018	ADD TITLE & DESIGN	LO
1	04/17/2018	ACCESS/UTILITY ESMT.	MF
2	08/23/2018	COMMENTS (C)	MF

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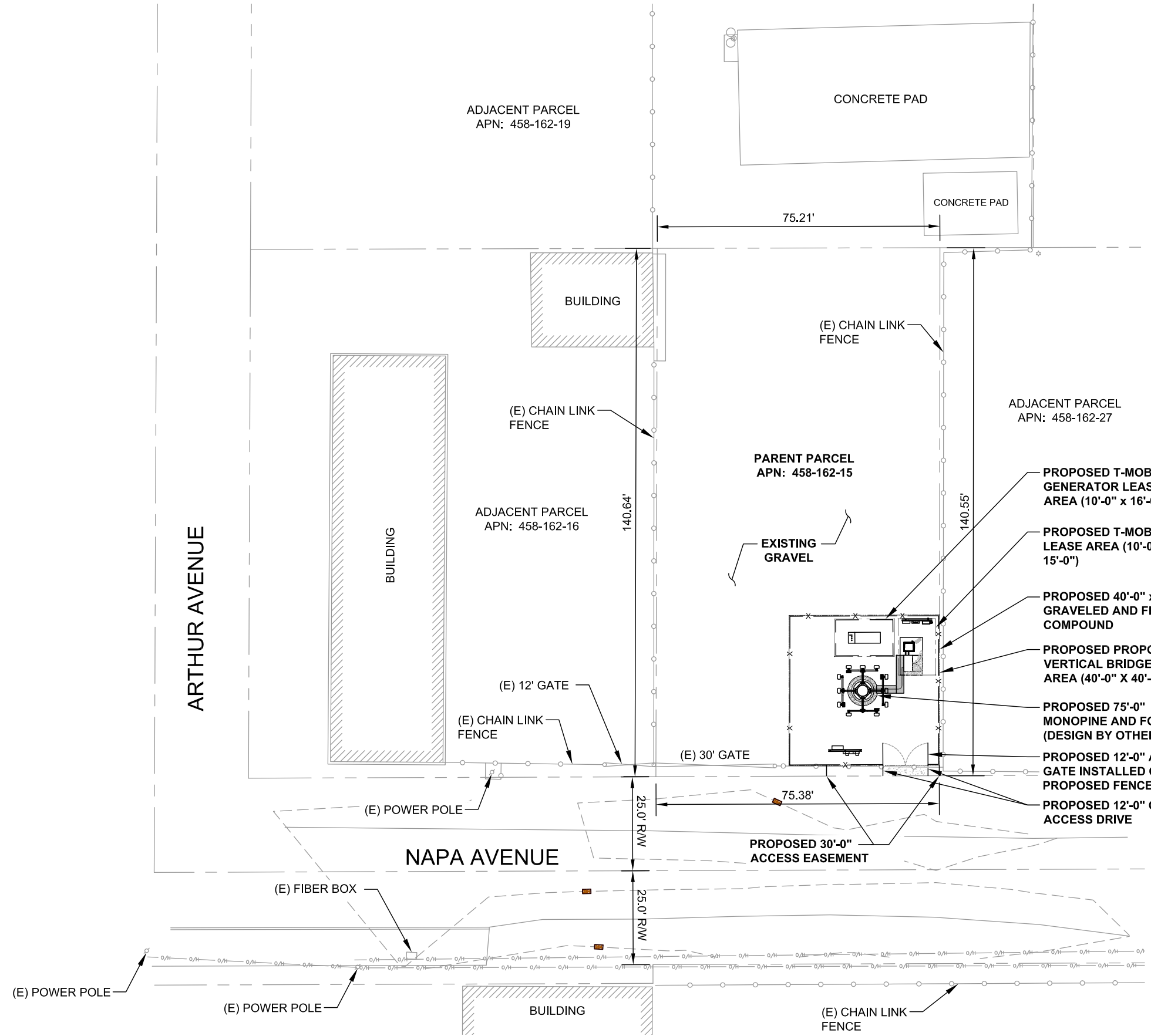
DRAWN BY:	CHK BY:	APV BY:
CK	SR	BC

Sheet Title:

LEASE & EASEMENT DETAIL

Sheet Number:

LS-2



ADJACENT PARCEL
APN: 458-162-19

CONCRETE PAD

CONCRETE PAD

75.21'

BUILDING

(E) CHAIN LINK FENCE

ADJACENT PARCEL
APN: 458-162-27

PARENT PARCEL
APN: 458-162-15

PROPOSED T-MOBILE
GENERATOR LEASE
AREA (10'-0" x 16'-0")

PROPOSED T-MOBILE
LEASE AREA (10'-0" x
15'-0")

PROPOSED 40'-0" x 40'-0
GRAVELED AND FENCED
COMPOUND

PROPOSED PROPOSED
VERTICAL BRIDGE LEASE
AREA (40'-0" X 40'-0")

PROPOSED 75'-0"
MONOPINE AND FOUNDATION
(DESIGN BY OTHERS)

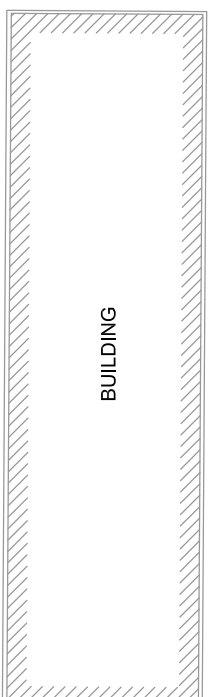
PROPOSED 12'-0" ACCESS
GATE INSTALLED ON
PROPOSED FENCE

PROPOSED 12'-0" CONCRETE
ACCESS DRIVE

EXISTING
GRAVEL

(E) CHAIN LINK FENCE

ADJACENT PARCEL
APN: 458-162-16



BUILDING

140.64'

140.55'

(E) 12' GATE

(E) CHAIN LINK FENCE

(E) 30' GATE

(E) POWER POLE

PROPOSED 30'-0"
ACCESS EASEMENT

NAPA AVENUE

(E) FIBER BOX

25.0' RW

25.0' RW

(E) POWER POLE

(E) POWER POLE

BUILDING

(E) CHAIN LINK FENCE



1 OVERALL SITE PLAN

SCALE: 15' 0 15' 30'

SCALE : 1" = 30' (1" = 15' - 24" X 36" SHEET)

verticalbridge
750 PARK OF COMMERCE DRIVE
SUITE 200 | BOCA RATON, FL | 33487
561.948.6367

ams wireless
4431 TOWN CENTER PLACE
KINGWOOD, TX | 77339
KYLE@AMSWIRELESS.ROCKS
270.316.7546

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**US-CA-5117
De SANTIS**
210 WEST NAPA VALLEY AVE
FRESNO, CA 93706

ENGINEER STAMP:

DRAWING TITLE:
OVERALL SITE PLAN

DRAWING SCALE:
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08/28/2018

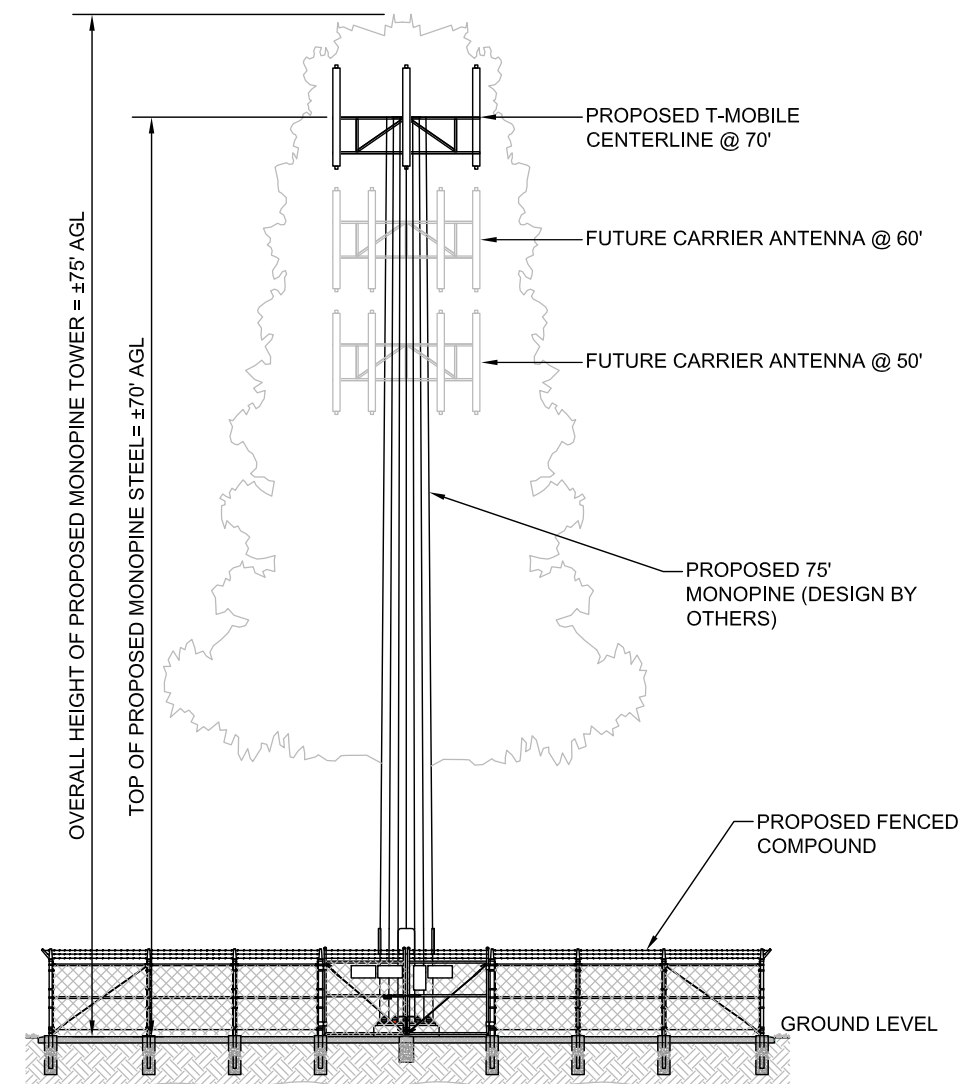
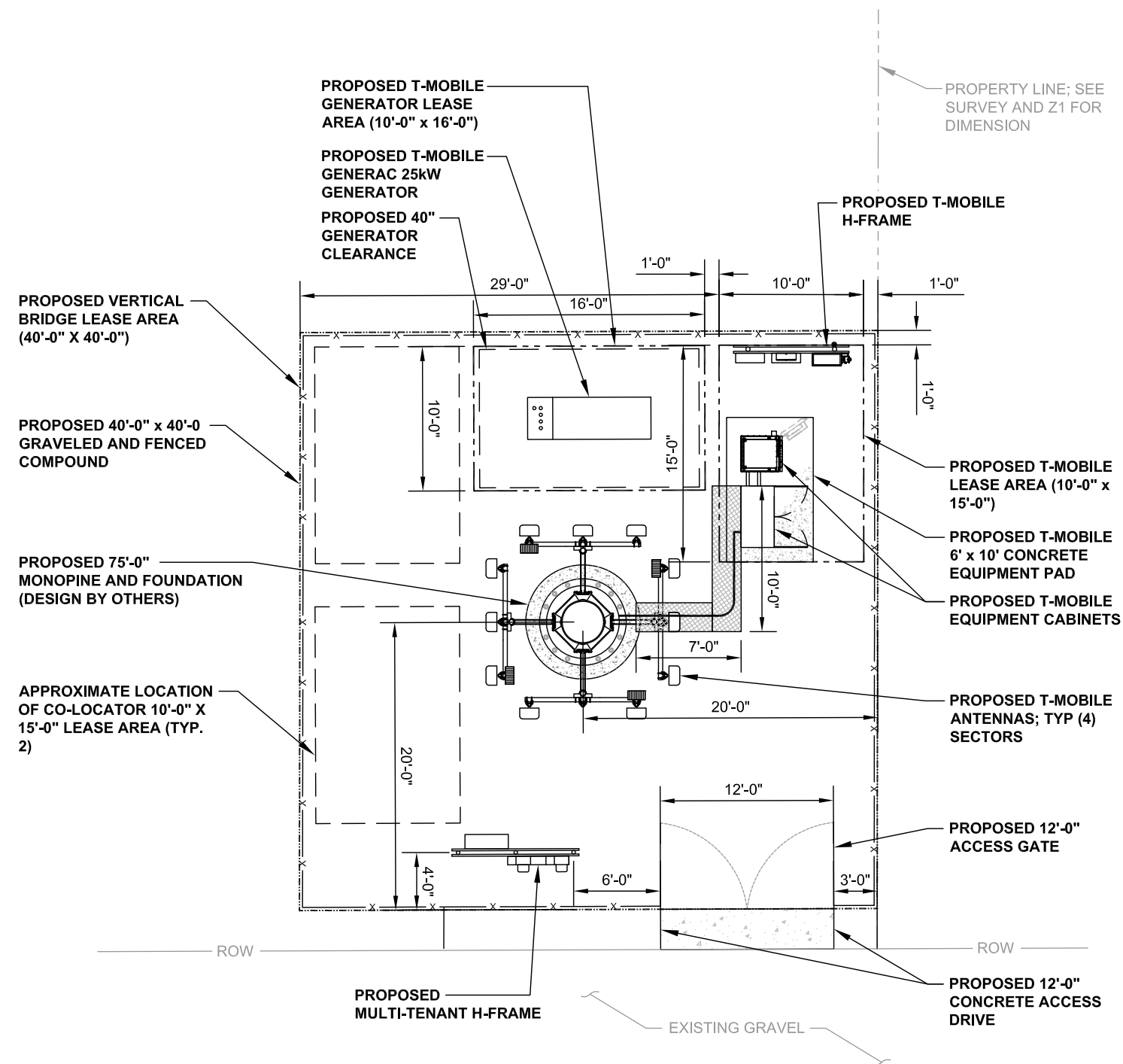
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Z1

INFORMATION SHOWN BASED ON A FIELD
SURVEY BY AMBIT CONSULTING DATED
03/21/18 AND LAST REVISED 08/23/18

AMS WIRELESS HAS NOT EVALUATED THE TOWER OR LOADING FOR THIS SITE AND ASSUMES NO LIABILITY FOR THE STRUCTURAL INTEGRITY OF THE PROPOSED TOWER INSTALLATION. CONTRACTOR TO REFER TO STRUCTURAL ANALYSIS AND TOWER DRAWINGS BY OTHERS PRIOR TO CONSTRUCTION.



1

COMPOUND PLAN

SCALE:

5' 0 5' 10'

SCALE : 1" = 10' (1" = 5' - 24" X 36" SHEET)

2

TOWER ELEVATION

NOT TO SCALE

10	EQUIPMENT UPDATE	CM	10/01/18
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PROJECT NUMBER: 03-1047

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US-CA-5117
De SANTIS
210 WEST NAPA VALLEY AVE
FRESNO, CA 93706

ENGINEER STAMP:

DRAWING TITLE:
COMPOUND PLAN AND
TOWER ELEVATION

DRAWING SCALE:

AS NOTED

DATE:
08/28/2018

ZONING

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DRAWING NUMBER:

Z2