



APPLICATION FOR LAND USE COMPATIBILITY DETERMINATION BY THE FRESNO COUNTY AIRPORT LAND USE COMMISSION

Fresno County ALUC Identification # (ALUC staff only)

WITHIN AIRPORT INFLUENCE AREA (AIA)? **YES** _____ **NO** _____
 To determine whether location is within AIA, refer to Airport Influence Area Map for the local jurisdiction, this can be obtained from Fresno County ALUC Staff, and is also available on the web at: www.fresnocog.org/FCALUC, see below for contact information. If answer is **YES** continue to provide project information below, if answer is **NO** application need not be submitted.

THIS SECTION TO COMPLETED BY FRESNO COUNTY ALUC STAFF

FINDING OF CONSISTENCY WITH FRESNO COUNTY AIRPORT COMPATIBILITY LAND USE POLICY PLAN :

CONSISTENT **CONSISTENT WITH CONDITIONS** **INCONSISTENT**

DATE OF RECEIPT: _____ **ALUC REVIEW DATE:** _____
APPROVAL/ADVISORY DATE: _____
STAFF REPORT ITEM #: _____
STAFF REPORT PROVIDED TO: _____
REPORT PROVIDED DATE: _____

DATE OF SUBMISSION: _____
PROJECT NAME: _____
APPLICANT INFORMATION-AGENCY/COMPANY: _____
CONTACT NAME: _____
TITLE: _____ **ADDRESS:** _____
PHONE: _____ **EMAIL:** _____

FOR MORE INFORMATION PLEASE CONTACT FRESNO COUNTY ALUC STAFF

Brenda Veenendaal
 Senior Regional Planner
 559.233.4148 Ext. 219
 brendav@fresnocog.org



Fresno Council of Governments

Fresno Council of Governments
 2035 Tulare Street, Suite 201, Fresno CA 93721
www.fresnocog.org

All submissions **MUST** be complete in order to be reviewed by the Fresno County ALUC, the following is a checklist of items that must be submitted for review:

- Project Type** - See Table A below: _____
 indicate project type and land use(s) if applicable
- Project Description** - Attach a typed project summary, or planning staff report, **TABLE A** below describes what should be included in the Project Description based on the Project Type.
- Project Site Location** - Attach a map of the project site, showing the location in proximity to the AIA. This check box may be checked if the map is included in the Project Description.

TABLE A - PROJECT TYPE	NEW AIRPORT CONSTRUCTION	GENERAL PLAN	SPECIFIC PLAN	ZONING ORDINANCE	INDIVIDUAL DEVELOPMENT PROJECT
	AIRPORT EXPANSION PLAN	MASTER PLAN	COMPATIBILITY LAND USE PLAN	BUILDING REGULATION	
I. Indication (in writing) that the proposed local action is referred to the ALUC for mandatory review under the provisions of the State of California Public Utilities Code.	Y	Y	Y	Y	N
II. Indication (in writing) that the proposed local action is referred to the ALUC for advisory review and comment.	N	N	N	N	Y
III. Full text of the proposed referring agency action, including whether the action is an amendment to an existing plan, and all dates of original adoption if applicable.	Y	Y	Y	Y	N/A
IV. Site map of the proposed local action.	N/A	N/A	N/A	N/A	Y
V. Map(s) and written description including:	Y	Y	Y	N/A	Y
① Geographic Area, highlighting the relationship of proposed action to the Airport Influence Area, including all associated site and Assessor's parcel maps.	Y	Y	Y	N/A	Y
② Site plans and elevations, including measurements of structural heights.	Y	Y	Y	N/A	Y
③ A description of land uses, densities, and open space conservation for the proposed action.	Y	Y	Y	N/A	N/A
VI. A copy of any CEQA or NEPA document, noise study, or other environmental evaluation prepared in conjunction with the proposed action.	Y	Y	Y	N/A	Y
VII. A written assurance that a real estate disclosure document will be provided for property offered for sale or lease within the AIA (Avigation Easement).	N	N	N/A	Y	Y

Abbreviations: Y - Yes, information is required; N - No, information is not required; N/A - Not applicable



2600 Fresno Street, Third Floor
Fresno, CA 93721-3604
(559) 621-8277 FAX (559) 498-1026

Jennifer K. Clark, AICP, Director

March 26, 2019

Please reply to:
Jose Valenzuela
559-621-8070

Jose.Valenzuela@fresno.gov

SUBJECT: REVIEW BY AIRPORT LAND USE COMMISSION OF CONDITIONAL USE PERMIT APPLICATION NO. P19-00504 FOR PROPERTY LOCATED AT 3928 NORTH BLATTELLA LANE, S/A (APN: 493-061-06S)

To Whom It May Concern:

Development Permit Application No. P19-00504 is before the Airport Land Use Commission for review and comment because it is within the area of influence under the new Airport Land Use Compatibility Plan.

The proposed project was filed by Style-Line Construction and pertains to 1.68 acres of property located on the east side of North Blattella Lane between East Dakota and West Ashlan Avenue. The applicant proposes a new 24,873 square-foot general industrial building with 1,700 square feet dedicated for office space. The property is in the IL (Light Industrial) zone district.

The proposed project was determined to be exempt from the California Environmental Quality Act by the Development and Resource Management Department on March 26, 2019 through a Class 32 Categorical Exemption. The approval of this project is subject to compliance with the draft Conditions of Approval.

Sincerely,

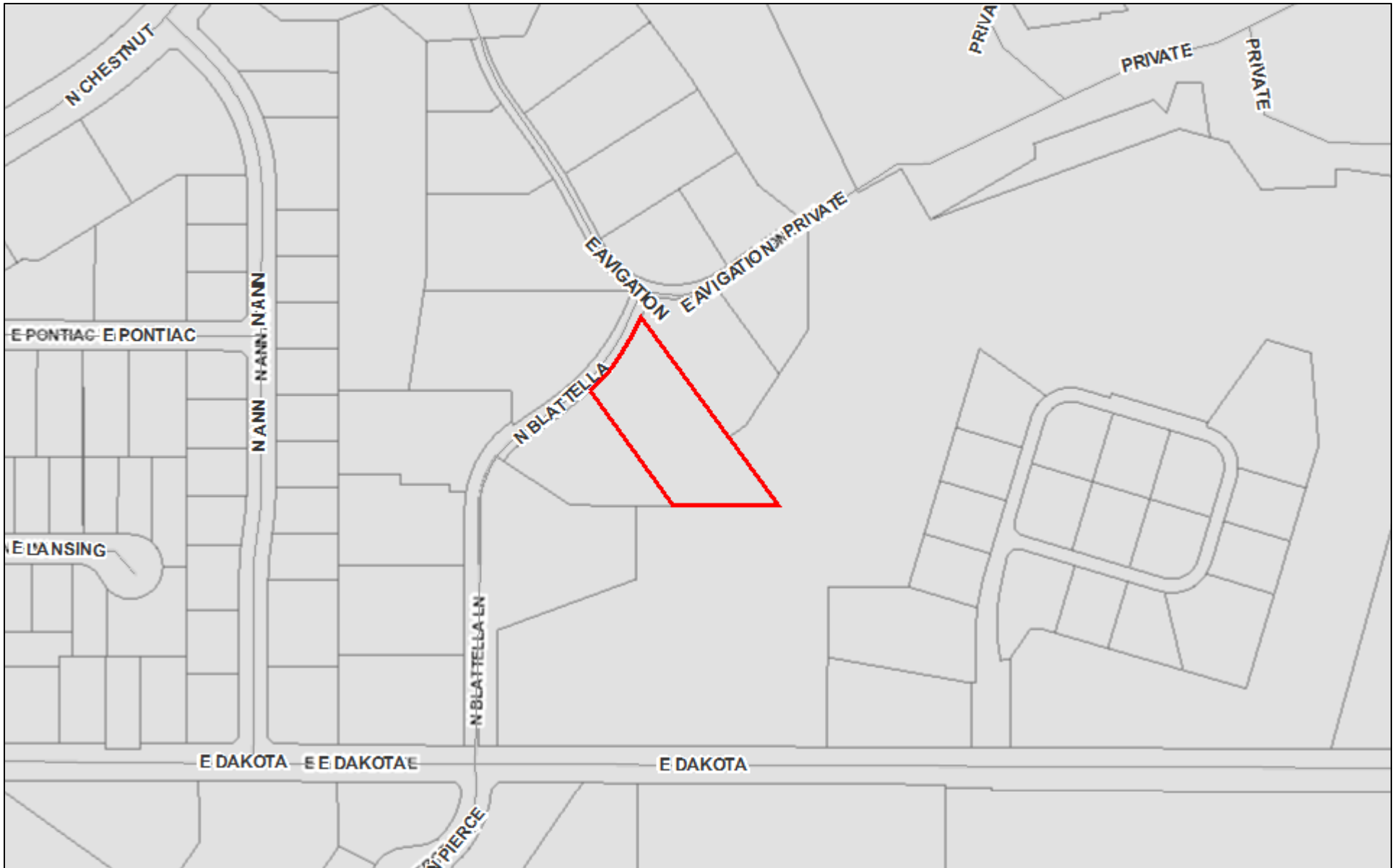
A handwritten signature in blue ink that reads "Jose Valenzuela".

Jose Valenzuela, Planner III
Development Services Division

Enclosures:

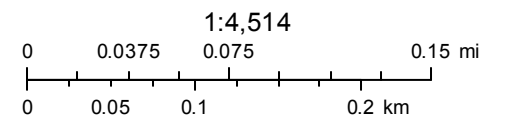
- ALUC Application
- Site Map
- Exhibits

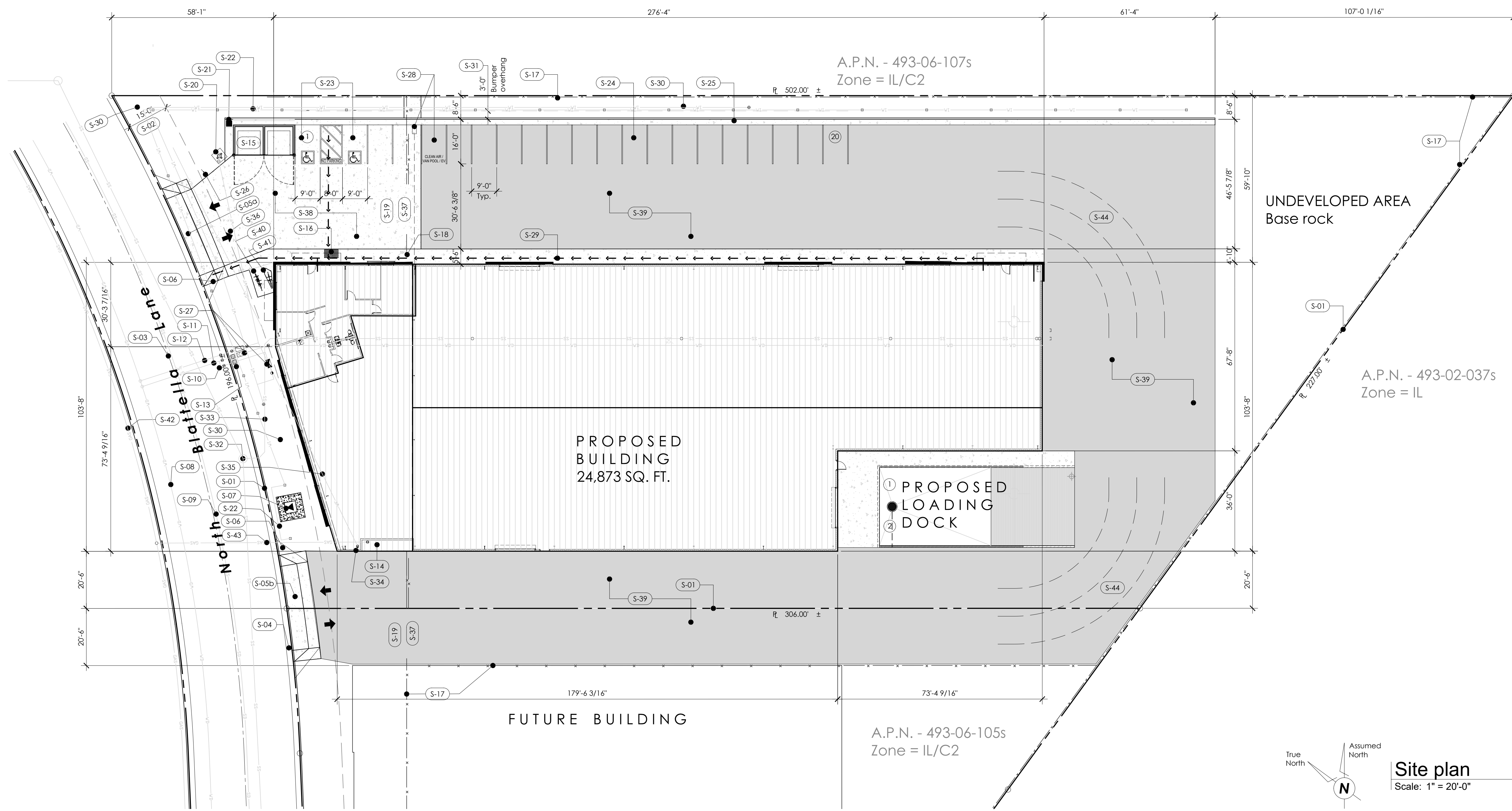
P19-00504, 3928 N Blattella Ln



3/26/2019, 2:54:18 PM

 Subject Project





- ### SITE LEGEND :
- (S-01) Property line
 - (S-02) 15'-0" landscape setback
 - (S-03) Center line of street
 - (S-04) Existing concrete curb and gutter - per City of Fresno Public Works Std. P-9.
 - (S-05) Proposed 30'-0" wide concrete driveway approach per City of Fresno Public Works Standards P-2, P-3, P-4 and P-6.
 - (S-05b) Proposed common 30'-0" wide concrete driveway approach per City of Fresno Public Works Standards P-2, P-3, P-4 and P-6. Owner shall enter into a cross access agreement for common driveway access at this location.
 - (S-06) Provide a 10' visibility triangle at all driveway approaches.
 - (S-07) Electrical transformer with bollard posts per P.G.&E. green book standards - See electrical plan.
 - (S-08) Existing 8" diameter city domestic water main supply line - Verify location.
 - (S-09) Existing 24" storm drain (SD) - Verify location.
 - (S-10) Proposed 1 1/2" diameter irrigation water (W) branch line.
 - (S-11) Existing 2" Ø domestic water (DW) branch line - Verify size and location.
 - (S-12) Existing 6" Ø fire suppression water (WF) branch line - Verify size and location.
 - (S-13) Proposed water meter per City of Fresno Public Works Standard W-1 for 1 1/2" or 2" water lines or P.W.Std. W-2 for 1" water lines.
 - (S-14) Location for electrical main service and telephone service cabinets
 - (S-15) Proposed refuse container enclosure - solid waste and recycle space per City of Fresno Public Works Standards P-33, P-34 and P-35.
 - (S-16) Proposed detectable warning truncated domes - 36" wide at hazardous traffic areas per 2016 CBC, Sec. 118-705.
 - (S-17) Proposed 6'-0" high chain link fence
 - (S-18) Proposed 6'-0" high x 4'-0" wide chain link pedestrian gate.
 - (S-19) Proposed 6'-0" high x 18'-0" wide rolling chain link gate.
 - (S-20) Proposed fire hydrant
 - (S-21) Proposed storm drain catch basin
 - (S-22) Proposed irrigation water lines - See landscape irrigation plan
 - (S-23) Proposed van accessible parking stall - 9' x 18' with 8' x 18' loading zone. Accessible spaces shall include surface and pole mounted signage. Refer to accessibility detail on sheet AD-1.
 - (S-24) Proposed 9'-0" x 18'-0" standard parking stall with 4" wide white painted surface stripe
 - (S-25) Proposed 6" high concrete curb with 2'-0" wide concrete gutter
 - (S-26) Proposed accessibility parking warning sign - Refer to sheet AD-1 "Parking stalls"
 - (S-27) Proposed reduced pressure back flow assembly per City of Fresno Public Works Std. W-1 are required on 2" Ø domestic and 1 1/2" Ø landscape irrigation water service lines to property.
 - (S-28) Proposed designated parking stall for clean air vehicle. Provide the following surface painted characters "CLEAN AIR / VAN POOL / EV" per Sec. 5.106.5.21 of the 2016 CGC. Also provide roadway from electrical sub-panel and that terminates in a listed suitable enclosure in close proximity of the designated stall. Arrows indicate accessible route - Refer to accessibility details on sheet AD-1
 - (S-29) Proposed landscape planter
 - (S-30) Proposed 3'-0" wide vehicle overhang adjacent to continuous curb with no obstructions over 6" high including lighting and accessibility signage.
 - (S-31) Existing 8" diameter city sewer (S) line and manhole - Verify location.
 - (S-32) Proposed 4" diameter city sewer house branch (S) service line.
 - (S-33) Proposed fire sprinkler riser - See fire sprinkler plan for requirements.
 - (S-34) Proposed 2" diameter fire suppression water (WF) line.
 - (S-35) Proposed white painted surface directional arrows.
 - (S-36) An X-1, City of Fresno bypass lock shall be installed on access gates. An approved lock shall be installed on gates or similar barriers when required by the fire official per 2013 CFC, Sec. 506.11. A police/fire bypass lock needs to be installed on the gate(s) providing access to the pedestrian doors for the factory portion of the building.
 - (S-37) New "1" thick concrete paving of 6" thick agg. base rock of 6" thick compacted native soil per Public Works Industrial Stds. P-21, P-22 and P-23.
 - (S-38) New "1" thick A/C paving of 6" thick agg. base rock of 6" thick compacted native soil per Public Works Industrial Stds. P-21, P-22 and P-23.
 - (S-39) Proposed single loop bike rack (2 bikes) - Duro Bike Rack surface mounted
 - (S-40) Proposed single bike locker - American Bicycle Security Co. - Model 301 P
 - (S-41) Existing 2" Ø gas line (G) - Verify location
 - (S-42) Proposed "Ø gas line (G) house branch - Verify location
 - (S-43) 44'-0" centerline / Typical fire truck turning radius
 - (S-44)

NOTES:

1. Landscaping must be in place before issuance of the certificate of occupancy. A hold on occupancy shall be placed on the proposed development until such time that landscaping has been approved and verified for proper installation by the Development Services Division.
2. All accessible stalls shall be marked with the international symbol of spaces and a warning sign that vehicles in violation of Section 10-1017 of the Municipal Code shall be towed away. The international symbol and low-visibility warning sign shall be posted conspicuously on seven-foot poles.
3. All accessible parking stalls shall be placed adjacent to facility access ramps or in strategic areas where the handicapped shall not have to wheel or walk behind parked vehicles while traveling to or from accessible parking stalls and ramps.
4. Sign, other than directional signs, if applicable, are not approved for installation as part of this special permit.
5. If archaeological and/or animal fossil material is encountered during project surveying, grading, excavating or construction, work shall stop immediately.
6. If there are suspected human remains, the Fresno County Coroner shall be immediately contacted. If the remains or other archaeological material is possibly Native American in origin, the Native American Heritage Commission (phone: (916) 453-4082) shall be immediately contacted, and the California Archaeological Inventory/Southern San Joaquin Valley Information Center phone: (805) 444-2899) shall be contacted to obtain a referral list of recognized archaeologists. An archaeological assessment shall be conducted for the project, the site shall be formally recorded, and recommendations made to the City as to any future site investigation or site avoidance or preservation.
7. If animal fossils are uncovered, the Museum of Paleontology, U.C. Berkeley shall be contacted to obtain a referral list of recognized paleontologists. An Assessment shall be conducted by a paleontologist and, if the paleontologist determines the material to be significant, it shall be preserved.
8. The required interior side yards and rear yard may be used for parking or storage provided no materials or vehicle stored therein exceeds a height of six (6) feet.
9. Any survey monuments within the area of construction shall be preserved or reset by a person licensed to practice land surveying in the State of California.
10. Two working days before commencing excavation operations within the street right-of-way and / or utility easements, all existing underground facilities shall have been located by Underground Services Alert (USA) Ph: 1-800-442-2444.
11. Repair all damaged and/or off grade off-site concrete street improvements as determined by the City of Fresno Public Works department Construction Management Division. Pedestrian paths of travel must also meet current accessibility regulations.
12. Drainage onto adjacent properties is prohibited. Provide 2% minimum slope away from the building pad for 5'-0" minimum where possible. Slope all concrete aprons away from the building pad for 5'-0" minimum where possible.
13. Slope all concrete to finished grade, unless otherwise specified.
14. Best management practices (BMP) shall be employed to prevent the pollution of storm water runoff from the construction activities on this project.
15. Comply with City of Fresno construction & demolition recycling requirements. The recycling of construction & demolition (C&D) is required for any City-issued building, relocation or demolition permitted project that generates at least 8 cubic yards of material by volume. All construction waste will be hauled to a City approved facility, listed below:
Kroeker, Inc.
4627 S. Chestnut Ave.
Fresno, CA 93725
(559) 237-3744
Co-mingled C & D
16. Excavated soil and land clearing debris, [BSC] 100 percent of trees, stumps, rocks and associated vegetation and soils resulting primarily from land clearing shall be reused or recycled. For a phased project, such material may be stockpiled on site until the storage site is developed.
17. Long term bicycle parking: Provide (1) one secure bicycle parking facility, located convenient from the area or staff parking area and shall meet one of the following:
A) Covered, lockable enclosures with permanently anchored racks for bicycles.
B) Lockable bicycle racks with permanently anchored racks;
C) Lockable, permanently anchored bicycle lockers.
18. Lighting where provided to illuminate parking, sales or display areas shall be hooded and so arranged and controlled so as not to cause a nuisance either to highway traffic or to the living environment. The amount of light shall be provided according to the standards of the Department of Public Works.
19. No uses of land, buildings or structures other than those specifically approved pursuant to this plan shall be permitted.
20. Future tenant improvements shall be reviewed and approved by the Development and Resource Management Department to ensure that adequate off-street parking is provided.
21. All future signs shall be architecturally compatible with the proposed building. Provide a set of drawings, with descriptive information, including, materials, design and colors to allow for a preliminary assessment of the future signage. It is recommended that a copy of the signage be provided early in the process to allow for staff comments and approval.
22. All proposed signs shall conform to the current sign ordinance. Applications for a sign permit and requirements for submittal are available at the Development and Resource Management Department's Public Front Counter or on-line.
23. All projects, including projects that involve less than one acre of property, are required to comply with the City of Fresno's Urban Storm Water Quality Management and Discharge Control Ordinance, FMC Chapter 6, Article 7 (FMC Sections 6-701 et seq.) When a project involves specified non-residential activities (certain commercial and industrial activities), an ongoing industrial storm water discharge permit is also required. Contact the Fresno office of the California Regional Water Quality Control Board at (559) 445-6281 to find out whether your project / business requires an industrial storm water discharge permit, and to obtain details on securing this permit.
24. Required fire lanes shall be designated by painting the curb red (top and side) and stenciling "Fire Lane" in 3 inch white letters every 50 feet. If no curb is present, paint a 6 inch minimum width red stripe at the edge of the roadway with "Fire Lane" in 3 inch white letter every 50 feet. The following sign must be posted at all public entrance driveways to the property. The sign shall be a minimum of 17 inches by 22 inches in size and have lettering a minimum of 1 inch stating:
VEHICLES STOPPED, PARKED / OR LEFT STANDING IN FIRE LANES
WILL BE IMMEDIATELY REMOVED AT OWNER'S EXPENSE.
25. 22658(a) CVC Fresno Police Department @ (559) 621-7000
26. The construction of any overhead, surface or sub-surface structures and appurtenances in the public right of way is prohibited unless an encroachment permit is approved by the City of Fresno Public Works Department, Traffic and Engineering Services Division. Encroachment permits must be approved prior to issuance of building permits.
27. At driveway / street intersections provide 10' visibility triangle. The branches of trees, signs, etc. located within the 10' triangle must be trimmed and/or maintained at a height not to exceed (8) feet. Branches and shrubs, signs, etc. must be trimmed or maintained at a height not to exceed three (3) feet. Fences, walls and hedges shall not exceed three (3) feet in height.
28. All reduced pressure backflow assembly (I.E. R.P. devices) shall be tested and approved by a certified AWWA or ABPA tester within five days of installation. The property will not be given occupancy until all R.P. devices are tested and documented with the City of Fresno Water Division. A list of certified testers can be obtained by calling 621-5335. Test results can be submitted to the City of Fresno website at:
www.fresno.gov/government/departmentdirectory/publicutilities/watermanagement/conservation/backflow or by fax @ 498-1533.

SHEET INDEX:

- SHT. A-1.0 = SITE PLAN, DESIGN DATA, VICINITY MAP, NOTES
- SHT. A-2.0 = EXTERIOR ELEVATION
- SHT. A-3.0 = FLOOR PLAN

BUILDING DESIGN LOADING:

Information based on 2015 International Building Code

Latitude	=	36.7890
Longitude	=	-119.7249
Seismic Category	=	"D"
Site Class Definition	=	S1H soil
Wind Exposure	=	"C"
Wind Risk Category	=	"II"
Seismic Use Group	=	"II"
Ground Snow Load	=	0
S _s	=	0.603
S ₁	=	0.249
S _{ms}	=	0.795
S _{m1}	=	0.473
S _{ds}	=	0.53
S _{c1}	=	0.315

CONTACT INFORMATION:

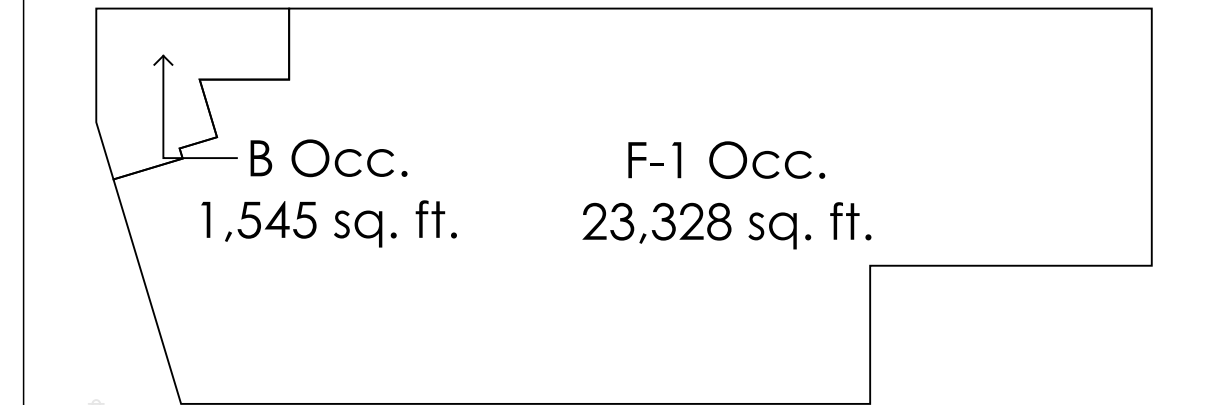
Owners:	General Contractor:	Project Engineer:
RFI Partners 1817 N. Helm, Suite #106 Fresno, Ca. 93727 Ph: (559) 251-1797 Fax: (559) 251-5920 Contact: Frank Rodriguez Cell: (559) 251-5920 Email: frank@style-line.net	Style-Line Construction, Inc. 1817 N. Helm, Suite #106 Fresno, Ca. 93726 Ph: (559) 251-1797 Fax: (559) 251-5920 Contact: Mark T. Chin - P.E. Email: mchinengr@yahoo.com	Mark Chin Engineering 4045 N. Fresno Street Fresno, Ca. 93726 Ph: (559) 226-4648 Contact: Mark T. Chin - P.E. Email: mchinengr@yahoo.com



Design Data:

Assessor's Parcel Number (A.P.N.)	=	493-06-106s
Site Address	=	3928 N. Biathella Ln. Fresno, Ca. 93727
Parcel size	=	1.68 acres - 73,225 sq. ft.
Property zoning	=	IL/C2
Use description	=	Employment - Light Industrial
School district	=	Fresno Unified School District
Fire district	=	City of Fresno Fire
Lot coverage	=	0.34
Building use	=	Factory Industrial / Storage
Building height	=	28'-0" eave height - 34'-0" max.
Number of stories above grade	=	1
Vehicle parking	=	2 - Accessible 20 - Standard 2 - Truck loading dock

BUILDING AREA LEGEND:



Proposed building size = 24,873 sq. ft.

ALLOWABLE AREA CALCULATION:

Qualifications:

Occupancy: F-1 and B
CBC sec. 508.2.3 - B occupancy is less than 10% of total area and should be considered a non-separated accessory occupancy to the F-1 occupancy.
CBC sec. 508.3.2 - Use the F-1 occupancy as the most restrictive to figure the allowable building area and height in accordance with CBC sec. 503.1
CBC Table 508.4 - B & F-1 No separation requirement.
CBC sec. 506.2.2 - Building area - Use CBC sec. 508.1 and Equation 5-1
Use CBC Table 506.2 - Mixed occupancy, one story bldg.

$A_1 = 34,000 \text{ NS} = 8,500 \text{ I}_1 = 0.6925 \text{ F} = 736 \text{ P} = 736 \text{ W} = 27.82$

$I_1 = (736 / 736 - 0.25) 27.82 / 30 = 0.6955$

Equation 5-1:

$A_a = 34,000 + (8,500 \times 0.6925) = 39,886 \text{ s.f.} > 24,873 \text{ s.f. O.K.}$

OCCUPANT LOAD:

Per CBC sec. 1004	B	=	1,545 / 100	=	15.45
	F-1	=	23,328 / 100	=	233.28
Total occupant load		=		=	249
Per CPC Table A	B	=	1,545 / 200	=	7.725
	F-1	=	23,328 / 2,000	=	11.664
Total occupant load		=		=	19,389 - 10 male 10 female

EXITING REQUIREMENTS:
CBC Table 1006.2.1
B = Occ. load = 16 - one exit req'd.
F-1 = Occ. load = 234 - Two exits req'd.
Maximum diagonal distance = 272' x 91' = Minimum exit separation distance

Revisions

By

Proposed building development for:
Palm Lakes Industrial
Fresno, Ca.

3928 N. Biathella Ln.
Fresno, Ca. 93727
Telephone: (559) 251-1797
FAX: (559) 251-5920

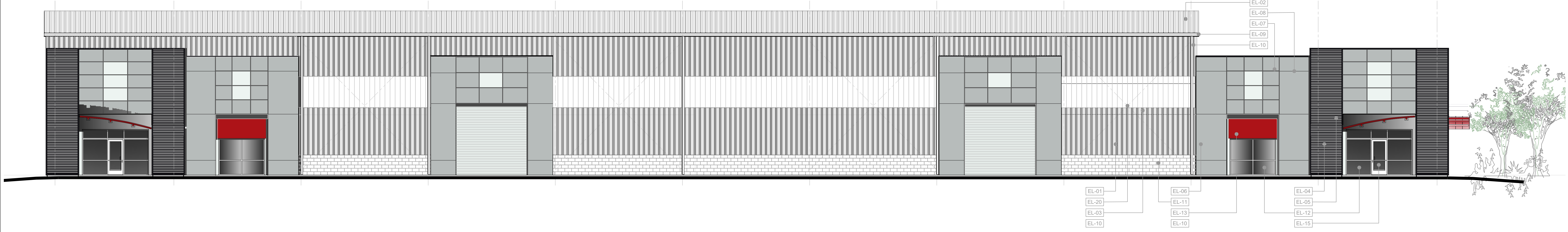
STYLE-LINE Construction, Inc.
State license # 45566
General building contractors
1817 N. Helm, #106
Fresno, Ca. 93727

DATE: 1-25-19
SHEET ID: A-1.0
Job: A-1.0

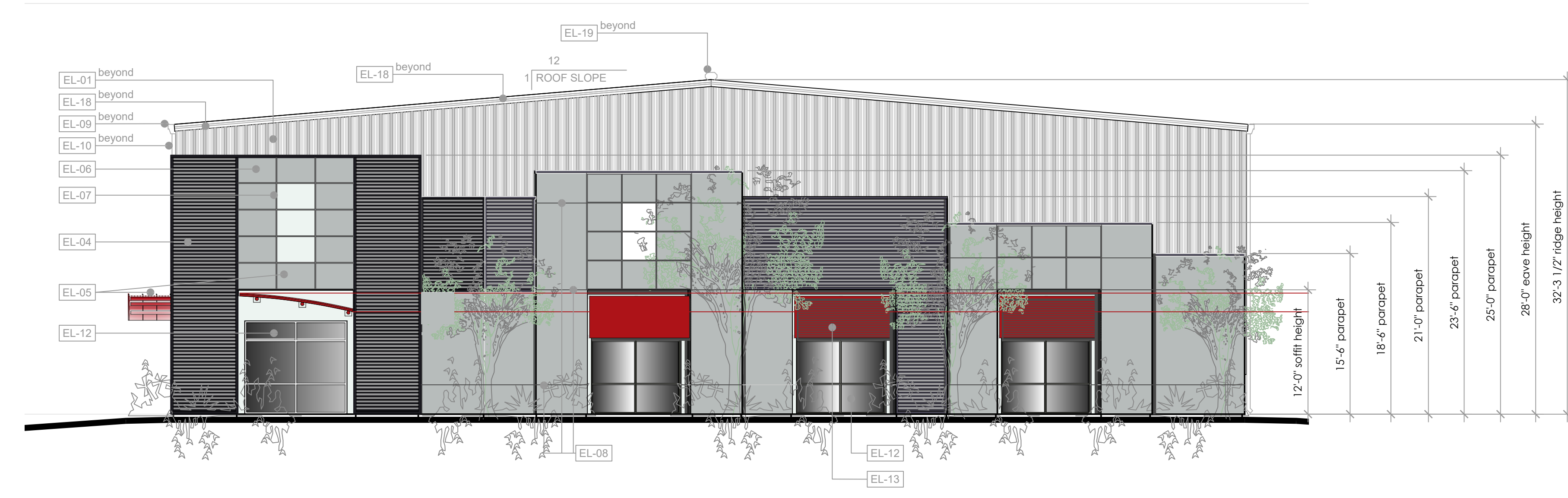
* Indicates all sheets that have been prepared by consultants other than those under direct supervision of Mark T. Chin. These drawings have been reviewed and coordinated by Mark T. Chin as part of this plan submittal only. Mark T. Chin accepts no responsibility, actual or implied, for code compliance or integrity of design of these consultants.

Mark T. Chin, P.E. Structural No. 2515

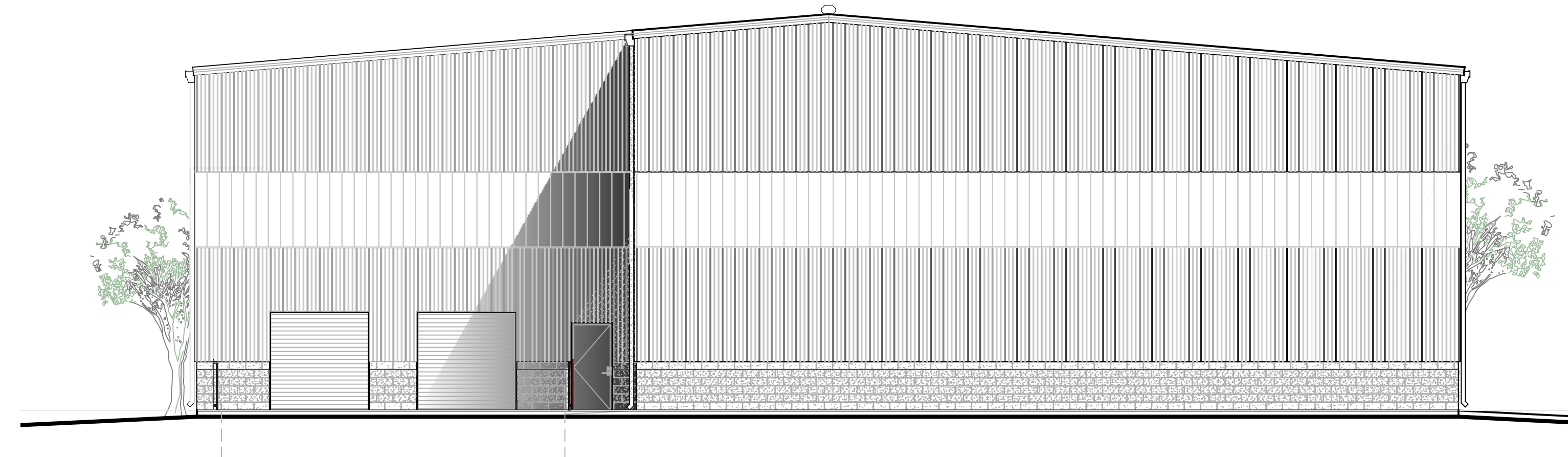
Revisions	By



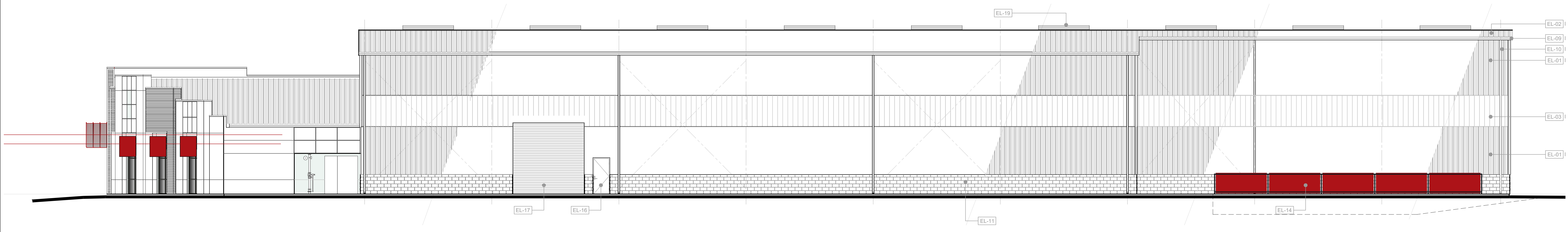
North elevation
Scale: 1/8" = 1'-0"



West elevation
Scale: 1/8" = 1'-0"



East elevation
Scale: 1/8" = 1'-0"



South elevation
Scale: 1/8" = 1'-0"

- ELEVATION LEGEND:**
- EL-01 26 GA. METAL ARCH III - WALL PANELS
 - EL-02 26 GA. METAL ARCH III - ROOF PANELS
 - EL-03 26 GA. METAL MBCI ARCHITECTURAL SERIES FLAT PANEL
 - EL-04 26 GA. METAL MBCI MASTERLINE 16 HORIZONTAL WALL PANELS
 - EL-05 24 GA. METAL CURVED BATTENLOK PANELS
 - EL-06 STUCCO FINISH
 - EL-07 1" STUCCO REGLET
 - EL-08 STUCCO EXPANSION JOINT
 - EL-09 METAL GUTTER
 - EL-10 DOWNSPOUT
 - EL-11 8" CONCRETE BLOCK STEM WALL TO 14'-0" HIGH TOP AND BOTTOM COURSE FLAT FLAT FACE INTERMEDIATE COURSES TO BE SPLIT FACED
 - EL-12 STORE FRONT GLASS
 - EL-13 PAINTED WIRE MESH VISOR SCREEN
 - EL-14 PAINTED WIRE MESH GUARD
 - EL-15 3070 GLASS DOOR
 - EL-16 3070 HOLLOW METAL DOOR
 - EL-17 14' x 14' METAL ROLL-UP DOOR
 - EL-18 26 GA. METAL RAKE TRIM
 - EL-19 9" THROAT X 10'-0" LONG RIDGE VENT
 - EL-20 METAL BUILDING X-BRACING - SEE STEEL DRAWINGS

Proposed building development for:
Palm Lakes Industrial
 Fresno, Ca.

STYLE - DINE Construction, Inc.
 State license # 55566
 Telephone (559) 251-1797
 1817 N. Helm, #106
 Fresno, Ca. 93727
 FAX (559) 251-5920



1817 N. Helm Ave. #106 • Fresno, Ca. 93727 • Phone (559) 251-1797 • Fax (559) 251-5920 • frank@style-line.net

February 5, 2019

City of Fresno
Department of Public Works and Planning
2600 Fresno Street
Fresno, Ca. 93721-3604

Re : **Operational Statement**
A.P.N. 493-06-106S
3928 N. Blattella Lane
Fresno, Ca. 93727

To whom it may concern,

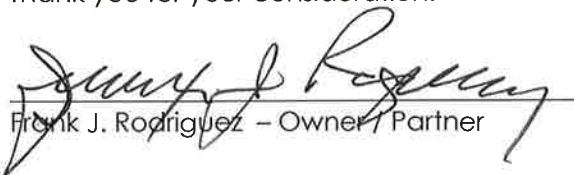
We are proposing to construct a shell building, at the above location, for tenant lease as follows :
The proposed building is a total of 24,873 sq. ft. and is designed for industrial uses. Building will include a small office area of approximately 1,700 sq. ft, which may be increased in size within the building shell depending on tenant needs. Building can be a single tenant but is being designed for multi-tenant lease of up to four.

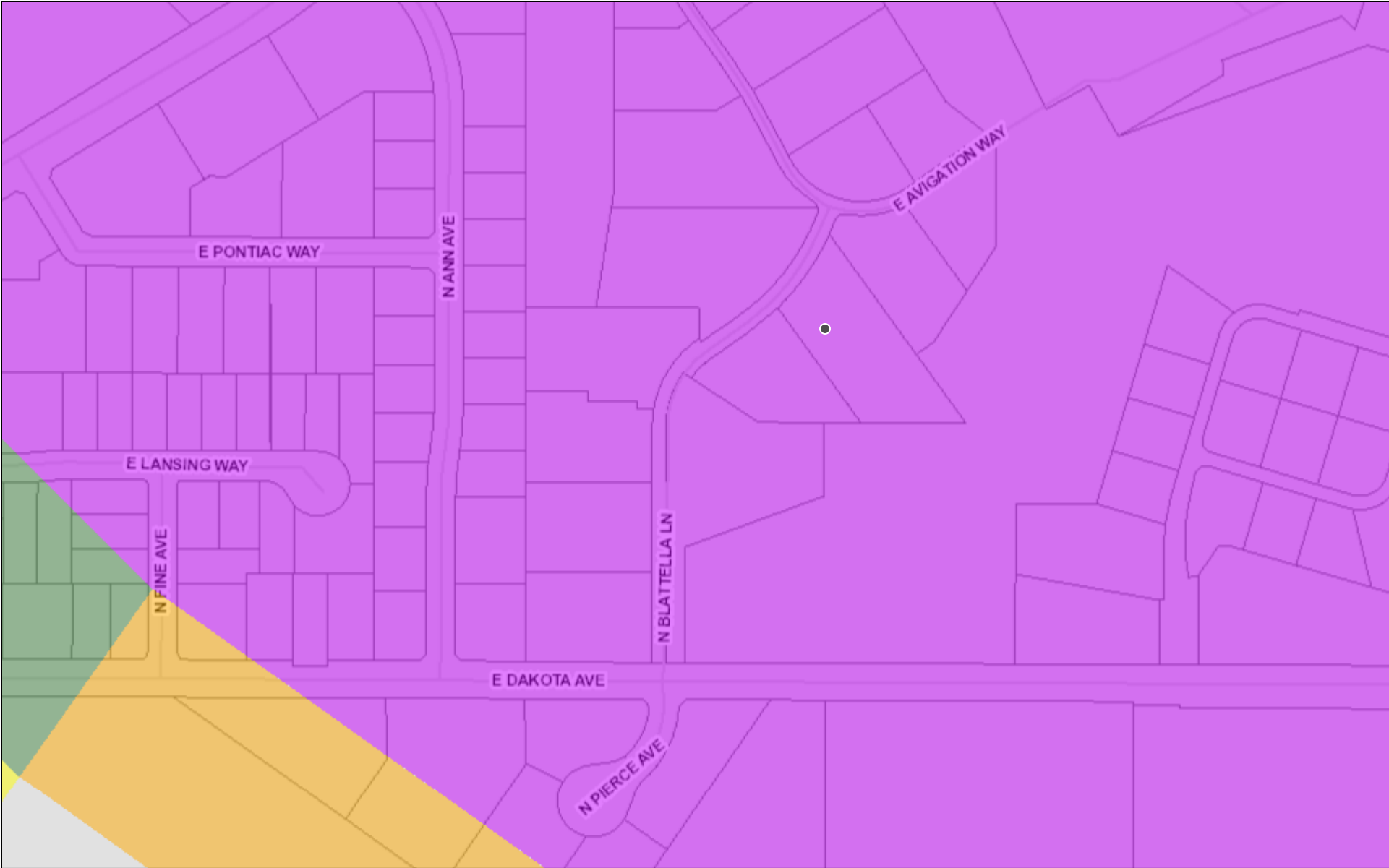
The parcel is located in an IL/cz zoned area and we will rent our building to uses commensurate with this zoning. Heavy vehicle traffic, such as large delivery trucks, is expected which will access the site from the existing developed private and public roads in the area. We will be constructing an on-site paved area for on-site parking and vehicle circulation.

The site will be serviced by existing sewer and water lines from Blattella Lane street frontage. Our anticipated business hours will be from 7:00 am to 7:00 pm Monday through Saturday (6 days per week, year around).

There will be no extreme noise, fumes, glare or any activities taking place on these premises that would be detrimental to the surrounding area.

Thank you for your consideration.


Frank J. Rodriguez - Owner / Partner



3/26/2019, 2:56:23 PM

- Parcels
- FAT Zone 1 - Runway Protection Zone
- FAT Zone 3 - Inner Turning Zone
- FAT Zone 5 - Sideline Zone
- FAT Zone 6 - Traffic Pattern Zone

