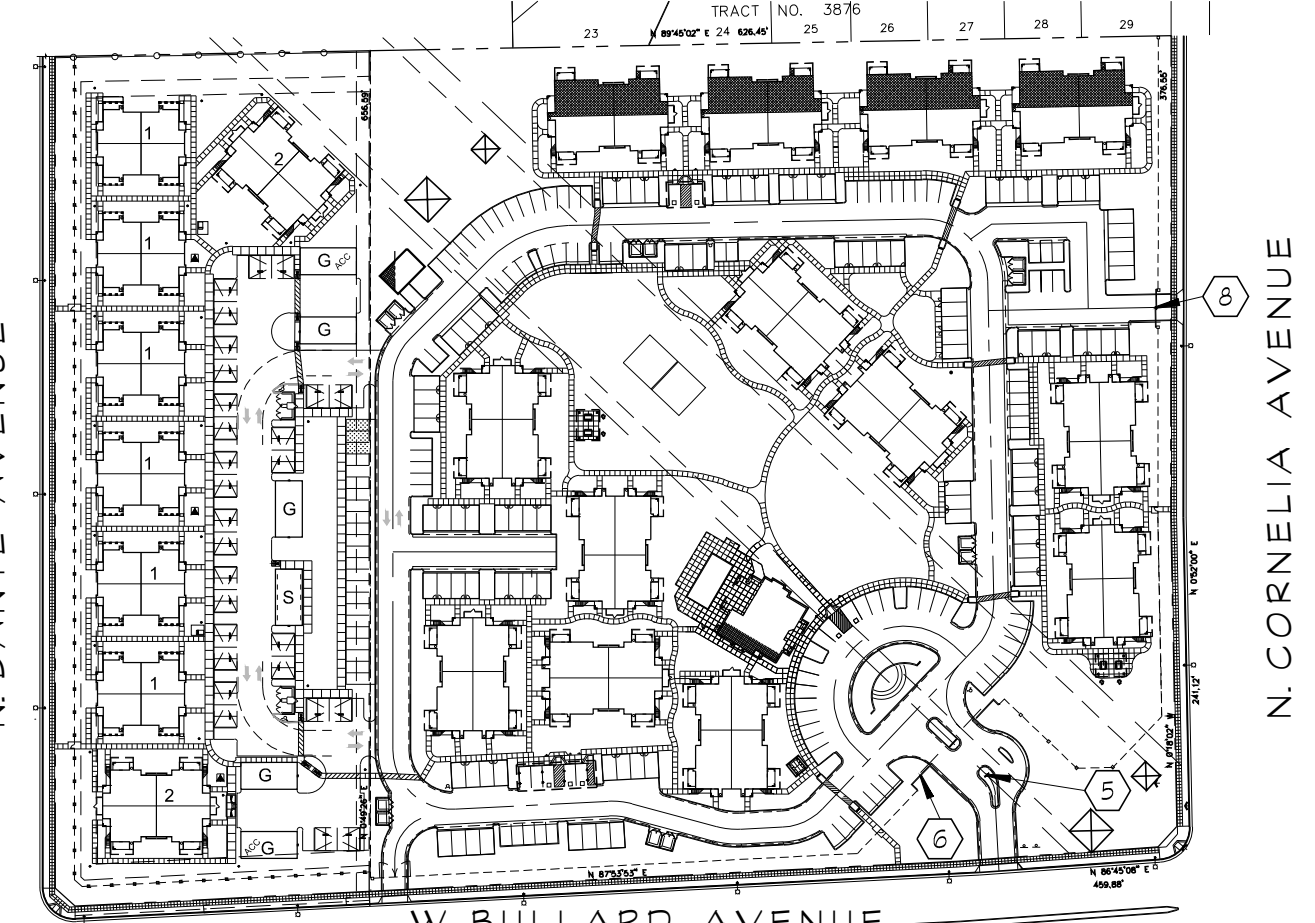
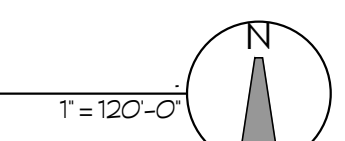


GENERAL NOTES:

- ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN COMPLIANCE WITH THE FOLLOWING CODES AS ADOPTED BY THE LOCAL BUILDING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.
 - 2013 CALIFORNIA BUILDING CODE
 - 2013 CALIFORNIA PLUMBING CODE
 - 2013 CALIFORNIA MECHANICAL CODE
 - 2013 CALIFORNIA ELECTRICAL CODE
 - 2013 CALIFORNIA FIRE CODE
 - 2013 CEC (CALIFORNIA ENERGY CODE)
 - 2013 CALIFORNIA ADMINISTRATIVE CODE
 - CITY OF FRESNO ORDINANCES.
- DRAWINGS ARE NOT TO BE SCALED. DIMENSIONS GOVERN.
- CONTRACTOR IS TO VERIFY ALL EXISTING FIELD DIMENSIONS, CONDITIONS & NOTIFY THE ARCHITECT OF ANY DISCREPANCIES. PRIOR TO PROCEEDING WITH ANY WORK.
- PROVIDE A MINIMUM OF 2% SLOPE AWAY FROM BUILDINGS FOR A DISTANCE OF 5'-0".
- NO DRAINAGE TO BE TAKEN TO ADJACENT PROPERTY.
- ALL CURBS AND GUTTERS TO BE CONSTRUCTED PER CITY OF FRESNO STANDS. ALL CURBS AND GUTTERS TO BE CONSTRUCTED PRIOR TO PLACEMENT OF A.C. PAVING.
- THE SANITARY SEWER SERVICES, WATER, GAS AND ANY OTHER UNDERGROUND SERVICE CONNECTIONS SHALL BE COMPLETED IN ALL AREAS TO BE PAVED PRIOR TO PLACEMENT OF A.C. PAVING.
- CONTRACTOR TO PROVIDE THE BUILDING DEPT. WITH SOLID COMPACTION REPORTS PREPARED BY AN APPROVED TESTING AGENCY FOR ANY FILL AREAS ON SITE.
- ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A PERSON LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF CALIFORNIA.
- REPAIR ALL DAMAGED AND/OR OFF-GRADE OFF-SITE CONCRETE STREET IMPROVEMENTS AS DETERMINED BY THE CITY OF FRESNO PUBLIC WORKS DEPARTMENT, CONSTRUCTION MANAGEMENT DIVISION, (559) 621-5500. PEDESTRIAN PATHS OF WALK MUST ALSO MEET CURRENT ADA REGULATIONS. ALL EXISTING SIDEWALKS IN EXCESS OF 2% MAXIMUM CROSS SLOPE MUST BE BROUGHT INTO COMPLIANCE PRIOR TO ACCEPTANCE BY PUBLIC WORKS.
- CONTACT SOLID WASTE DIVISION AT 621-1818 FOR APPOINTMENT TO ESTABLISH ACCESS AND IMPROVEMENTS REQUIRED AS CONDITIONS OF PROVIDING DISPOSAL SERVICE.
- (2) WORKING DAYS BEFORE COMMENCING EXCAVATION OPERATIONS WITHIN THE STREET RIGHT OF WAY AND OR UTILITY EASEMENTS ALL EXISTING UNDERGROUND FACILITIES SHALL HAVE BEEN LOCATED BY UNDERGROUND SERVICES ALERT (USA) CALL: 1-800-642-2444.
- NO USES OF LAND, BUILDINGS OR STRUCTURES OTHER THAN THOSE SPECIFICALLY APPROVED PURSUANT TO THIS SITE PLAN SHALL BE PERMITTED.
- TREES SHALL BE MAINTAINED IN GOOD HEALTH. HOWEVER, TREES MAY NOT BE TRIMMED OR PRUNED TO REDUCE THE NATURAL HEIGHT OR OVERALL CROWN OF THE TREE, EXCEPT AS NECESSARY FOR THE TREE AND PUBLIC SAFETY, OR AS MAY OTHERWISE BE APPROVED BY THE DEVELOPMENT DEPARTMENT.
- LANDSCAPING MUST BE IN PLACE BEFORE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY. A HOLD ON OCCUPANCY SHALL BE PLACED ON THE PROPOSED DEVELOPMENT UNTIL SUCH TIME THAT LANDSCAPING HAS BEEN APPROVED AND VERIFIED FOR PROPER INSTALLATION BY THE DEVELOPMENT SERVICES DIV.
- PRIOR TO FINAL INSPECTION, A WRITTEN CERTIFICATION, SIGNED BY A LANDSCAPE PROFESSIONAL APPROVED BY THE DIRECTOR, SHALL BE SUBMITTED STATING THAT THE REQUIRED LANDSCAPING AND IRRIGATION SYSTEM WAS INSTALLED IN ACCORDANCE WITH THE LANDSCAPING AND IRRIGATION PLANS APPROVED BY THE DEVELOPMENT SERVICES DIVISION, DEVELOPMENT DEPT.
- NO STRUCTURES OF ANY KIND MAY BE INSTALLED OR MAINTAINED WITHIN THE LANDSCAPED AREAS. NO EXPOSED UTILITY BOXES, TRANSFORMERS, METERS, PIPING, (EXCEPTING THE BACK FLOW PREVENTION DEVICE) ETC., ARE ALLOWED TO BE LOCATED IN THE LANDSCAPE AREAS OR SETBACKS OR ON THE STREET FRONTS OF THE BUILDINGS. ALL TRANSFORMERS SHALL BE SHOWN ON THE ETC., PLAN. THE BACK FLOW DEVICE SHALL BE SCREENED BY LANDSCAPING OR SUCH OTHER MEANS AS MAY BE APPROVED.
- ON-SITE PAVING AND MARKING TO BE PER CITY OF FRESNO PUBLIC WORKS STANDARD(S) P-21, P-22 & P-23.
- SIGNS, OTHER THAN DIRECTIONAL SIGNS, IF APPLICABLE, ARE NOT APPROVED FOR INSTALLATION AS PART OF THIS SPECIAL PERMIT.
- WINDOW SIGNS ARE LIMITED TO 4 SQ. FEET IN AREA. PROVIDING INFORMATION ABOUT HOURS OF OPERATION, EMERGENCY, SALE OR RENTAL INFORMATION ONLY. EXTERIOR BANNERS ANNOUNCING SPECIAL EVENTS SUCH AS GRAND OPENINGS, NEW MANAGEMENT ARE PERMITTED FOR 30 DAYS IF APPROVED BY THE DEVELOP. DIRECTOR, ATTACHED TO THE BUILDING AND NOT EXCEEDING 32 SQUARE FEET IN AREA.
- IF ARCHAEOLOGICAL AND/OR ANIMAL FOSSEL MATERIAL IS ENCOUNTERED DURING PROJECT SURVEYING, GRADING, EXCAVATIONS, OR CONSTRUCTION, WORK SHALL STOP IMMEDIATELY.
- IF THERE ARE SUSPECTED HUMAN REMAINS, THE FRESNO COUNTY CORONER SHALL BE IMMEDIATELY CONTACTED (559) 268-0109. IF THE REMAINS OR OTHER ARCHAEOLOGICAL MATERIAL IS POSSESSIVE NATIVE AMERICAN IN ORIGIN, THE NATIVE AMERICAN HERITAGE COMMISSION (PHONE: (916) 653-4082) SHALL BE IMMEDIATELY CONTACTED, AND THE CALIFORNIA ARCHAEOLOGICAL INVENTORY / SOUTHERN SAN JOAQUIN VALLEY INFORMATION CENTER (PHONE: (805) 644-2289) SHALL BE CONTACTED TO OBTAIN A REFERRAL LIST OF RECOGNIZED ARCHAEOLOGISTS. AN ARCHAEOLOGICAL ASSESSMENT SHALL BE CONDUCTED FOR THE PROJECT. THE SITE SHALL BE FORMALLY RECORDED, AND RECOMMENDATIONS MADE TO THE CITY AS TO FURTHER SITE INVESTIGATION OR SITE AVOIDANCE / PRESERVATION.
- IF ANIMAL FOSSELS ARE UNCOVERED, THE MUSEUM OF PALEONTOLOGY, U.C. BERKELEY SHALL BE CONTACTED TO OBTAIN A REFERRAL LIST OF RECOGNIZED PALEONTOLOGISTS AND AN ASSESSMENT SHALL BE CONDUCTED BY A PALEONTOLOGIST AND, IF THE PALEONTOLOGIST DETERMINES THE MATERIAL TO BE SIGNIFICANT, IT SHALL BE PRESERVED.
- ALL ACCESSIBLE STALLS SHALL COMPLY WITH CALIFORNIA TITLE 24 AND SHALL BE MARKED WITH THE INTERNATIONAL SYMBOL OF SPACES AND A WARNING THAT VEHICLES IN VIOLATION OF SECTION 10-1017 OF THE MUNICIPAL CODE SHALL BE TOWED AWAY. THE INTERNATIONAL SYMBOL AND TOW-AWAY WARNING SHALL BE POSTED CONSPICUOUSLY ON 7 FOOT POLES.
- OPEN STREET CUTS ARE NOT PERMITTED. ALL UTILITY CONNECTIONS MUST BE BORED.
- ALL IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE CITY OF FRESNO PUBLIC WORKS DEPARTMENT OR STREET CONSTRUCTION SHALL BE CONDUCTED BY A PERSON LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF CALIFORNIA.
- WALKWAYS CONNECTING ACCESSIBLE ENTRANCES AND OTHER FEATURES CANNOT SLOPE MORE THAN 5% IN THE DIRECTION OF TRAVEL, NOR HAVE CROSS SLOPES EXCEEDING 2%.
- CONNECTION TO THE CITY OF FRESNO WATER AND SEWER SYSTEM IS REQUIRED.
- ALL GROUND FLOOR EXTERIOR DOORS SHALL HAVE LEVEL LANDINGS AND CONNECT TO ACCESSIBLE PATHS. WALKWAYS SHALL NOT HAVE CHANGES IN LEVEL GREATER THAN 1/2 UNLESS BEVELED WITH A SLOPE NO GREATER THAN 1 (VERTICAL) IN 2 (HORIZONTAL). CHANGES IN LEVEL GREATER THAN 1/2 SHALL BE MADE BY MEANS OF A SLOPED SURFACE NOT GREATER THAN 1 (VERTICAL) IN 20 (HORIZONTAL) OR A 5% SLOPE, OR BY A RAMP, ELEVATOR, OR SPECIAL ACCESS LIFT.
- A BACKFLOW PREVENTION DEVICE MAY BE REQD. CONTACT WATER DIVISION AT 559-498-4671 FOR REQUIREMENTS. DEVICES MUST BE INSTALLED ON-SITE IN A LOCATION APPROVED BY THE CROSS CONNECTION CONTROL OFFICER. A PLUMBING PERMIT IS REQUIRED TO INSTALL DEVICE. BACKFLOW PREVENTION DEVICES REQUIRED SHALL BE INSTALLED AT THE CONSUMER'S EXPENSE BY A QUALIFIED JOURNEYPERMANENTLY CERTIFIED AS COMPETENT FOR SUCH PURPOSES BY THE WATER SYSTEM MANAGER. BACKFLOW DEVICES FOR SUCH PURPOSES MUST BE TESTED AND ACCEPTED BY THE WATER DIVISION PRIOR TO GRANTING BUILDING FINAL. DEVELOPER IS RESPONSIBLE TO CONTACT THE WATER DIVISION A MINIMUM OF 5 DAYS PRIOR TO REQUEST FOR FINAL BUILDING INSPECTION.
- THE CONTRACTOR IS REQUIRED TO REQUEST A FINAL INSPECTION PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY. THE CONTRACTOR SHALL CONTACT THE BUILDING PLANNING AND ENGINEERING DEPARTMENTS INDIVIDUALLY TO REQUEST A FINAL INSPECTION. INSPECTION REQUESTS SHALL BE MADE TO THE DEPARTMENTS INDIVIDUALLY AT LEAST 24 HOURS IN ADVANCE.
- SEPARATE PERMITS ARE REQUIRED FOR DRAINAGE & GRADING.
- APPROVED CENTRAL STATION MONITORS OF THE FIRE SPRINKLER SYSTEM IS REQUIRED.
- FIRE HYDRANTS SHALL BE INSTALLED, TESTED, APPROVED AND ALL SURFACE ACCESS ROADS SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION. THE HYDRANT 4 1/2" OUTLET SHALL FACE THE ACCESS LANE. DEVELOPER MUST INSTALL ON-SITE HYDRANTS THAT PROVIDE FIRE HYDRANT FLOW OF 2500 GPM WITH A MINIMUM 8" WATER MAIN. ALL CONSTRUCTION WORK IS SUBJECT TO A STOP WORK ORDER IF ACCESS ROADS BECOME IMPASSABLE OR FIRE HYDRANTS UNSERVICEABLE. SEE THE BACK OF THE BUILDING & SAFETY DIVISION PERMIT CARD FOR FIRE PROTECTION REQUIREMENTS DURING CONSTRUCTION.
- A MINIMUM OF TEN BICYCLE PARKING SPACES SHALL BE PROVIDED ON THE SITE PURSUANT TO SECTION 12-306-12.1(C) OF THE P.M.C. BICYCLE PARKING SPACES SHALL EACH CONSIST OF ONE SLOT IN A BAY BACK. THEY SHALL BE GROUPED IN BAYS WHICH ALLOW FOR FEET OF CLEARANCE ON ALL SIDES. THERE SHALL BE ADEQUATE SPACE BETWEEN BAY BACKS TO PARK, LOCK AND REMOVE BICYCLES. BICYCLE PARKING SPACES AND THE REQUIRED FOUR FOOT CLEARANCE SHALL BE PROTECTED FROM MOTOR VEHICLE ENCRoACHMENT BY MEANS OF FIBED BARRIERS NOT LESS THAN 50 INCHES OR MORE THAN THREE FEET IN HEIGHT. BICYCLE PARKING SPACES SHALL NOT ENCRoACH ON PEDESTRIAN WAYS, LANDSCAPED AREAS, OR OTHER REQUIRED OPEN SPACES AND SHALL BE LOCATED PROXIMAL TO STRUCTURES.
- SCREEN ALL ROOF-MOUNTED EQUIPMENT FROM THE VIEW OF PUBLIC RIGHT-OF-WAY.
- STREET IMPROVEMENT PLANS PREPARED BY A REGISTERED CIVIL ENGINEER ARE REQUIRED. PLANS MUST BE SUBMITTED TO THE PUBLIC WORKS DEPARTMENT, ENGINEERING SERVICES DIVISION, PRIOR TO ISSUANCE OF BUILDING PERMITS AND STREET WORK PERMITS (ALONG WITH SIGNING AND STRIPING PLAN).

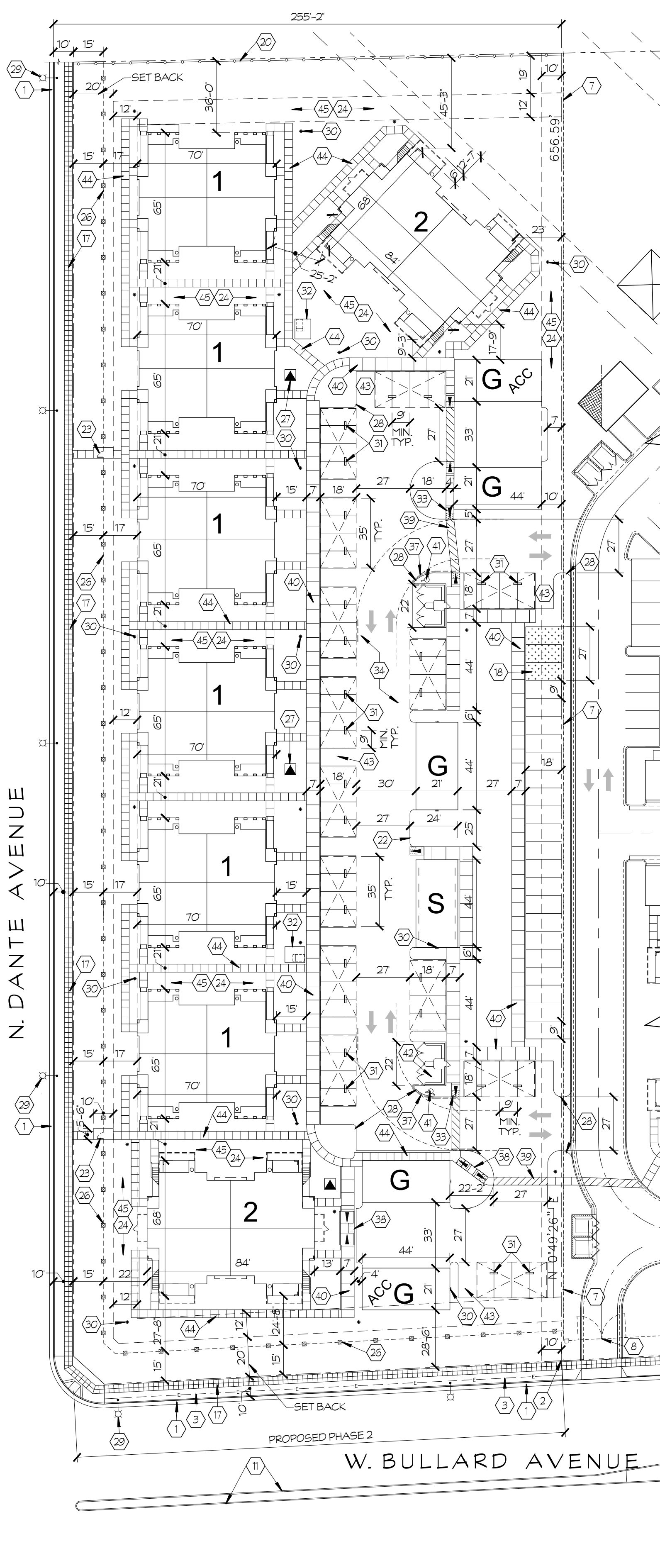


OVERALL SITEPLAN
SCHEME 'B'

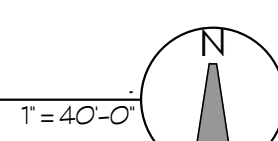


KEYED NOTES:

- (E) CONCRETE CURB AND GUTTER TO REMAIN.
- (E) CONCRETE CURB, GUTTER AND SIDEWALK TO REMAIN.
- (N) CONCRETE SIDEWALK TO TRANSITION TO EXISTING.
- (E) UTILITY POLES AND SERVICES TO BE UNDERGROUNDED
- (E) FIRE HYDRANT TO REMAIN
- (E) DIRECTORY SIGN. MODIFY TO SHOW EXPANSION AREA.
- (E) MAIN VEHICULAR ENTRY / EGRESS WITH SECURITY GATES PER CITY STANDS. MOTORIZED ROLLING GATE EQUIPMENT SHALL COMPLY WITH FIRE DEPT REQUIREMENTS (MOTION SENSOR & REMOTE ACTIVATED EXIT / KEY PAD & REMOTE ACTIVATED ENTRY). UPDATE AND MODIFY GATE HARDWARE AS NECESSARY.
- (E) = 6'-0" WOOD FENCE TO BE REMOVED
- (E) MANUALLY OPERATED EMERGENCY VEHICLE ACCESS GATES SHALL HAVE FIRE/POLICE PAD/LOCK OR APPROVED LOCK BOX.
- (E) STORM DRAIN INLET TO REMAIN
-
- (E) RAISED MEDIAN WITH CONCRETE CURB AND (E) CONCRETE INFILL TO REMAIN
- (E) PAINTED LINES - STREET MARKINGS
- 15' STORM DRAINAGE PIPE EASEMENT
- 20' STORM DRAINAGE PIPE EASEMENT
-
-
- (N) CONCRETE CURB, GUTTER, PLANT STRIP, AND SIDEWALK PERMITS STD P-5. SIDEWALK TO BE 4'-0" WIDE. SEE CIVIL DRAWINGS PW STD P-5. SIDEWALK TO BE 4'-0" WIDE. SEE CIVIL DRAWINGS.
- PROPOSED FUTURE LOCATIONS OF EV CHARGING STATIONS PER 2013 CGS68. SEE ELECTRICAL DRAWINGS FOR NECESSARY ELECTRICAL EQUIPMENT, CHARGING PEDESTALS, SIGNAGE, AND PAVEMENT MARKINGS TO BE TO BE INSTALLED IN FUTURE. 7-STALLS
- CONSTRUCT AN UNDERGROUND STREET LIGHTING SYSTEM TO PW STANDS. E-2 AND E-11 TO E-12
- (N) 6'-0" HT WOOD FENCE AT NORTH PROPERTY LINE.
- (N) ACCESSIBILITY SIGN MOUNTED ON POLE AT SITE ENTRY WITH EMERGENCY ACCESS SIGN MOUNTED ON SEPARATE POLE
- (N) 6" HT. CONCRETE CURB BETWEEN GARAGES.
- (N) PEDESTRIAN GATES THAT ARE LOCKED AND ARE REQUIRED FOR BUILDING ACCESS SHALL HAVE A FIRE/POLICE/PADLOCK OR APPROVED LOCK BOX. PANIC HARDWARE TO BE PROVIDED ON INTERIOR SIDE OF GATE.
- (N) OPEN SPACE
- (N) LATTICE FENCE MECHANICAL UNIT SCREEN TO EXTEND 6' ABOVE TOP OF AC UNIT.
- (N) 6'-0" HT W.I. FENCE TO MATCH EXISTING.
- (N) PRELIMINARY TRANSFORMER LOCATION. FINAL LOCATIONS TO BE VERIFIED WITH PG&E AND SITE UTILITY DESIGNER.
- (N) 6" HT. CONCRETE CURB.
- (N) STREET LIGHT. LOCATIONS TO BE VERIFIED PER PW STANDS E-1 AND E-7
- (N) ON-SITE LIGHTING. APPROXIMATE LOCATIONS OF E BUILDING MOUNTED LIGHTING AND POLE MOUNTED E LIGHTING. FINAL LOCATIONS TO BE VERIFIED BY ELECTRICAL ENGINEER FOR PROPER LIGHTING COVERAGE.
- 18 x 35 CARPORT WITH SURFACE MOUNTED LIGHT FIXTURES AT BOTTOM SIDE OF ROOF.
- BICYCLE PARKING TO BE MOUNTED ON CONCRETE PAD. TENANTS/BIKE OWNERS ARE TO PROVIDE THEIR OWN LOCKS AND CHAINS (TYP. OF 2 LOCATIONS PER PHASE)
- (N) RETURNED CURB RAMP, 1:12 MAX. SLOPE.
- (N) ASPHALT PAVING PER CITY OF FRESNO PW STANDS P-21, P-22 & P-23
- (N) ACCESSIBLE PARKING STALLS WITH STRIPED LOADING ZONE W/ NO PARKING INDICATED, MODIFIED CURB RAMP, AND ISA SYMBOL ON PAVEMENT.
- (N) ACCESSIBILITY PARKING SIGN, TYP. AT ACCESSIBLE PARKING STALLS. NOT TO BE INSTALLED WITHIN 3' VEHICLE OVERHANG AREA.
- DASHED LINES AT PORTIONS OF CURBS ON SITE PLAN INDICATES CURBS TO BE PAINTED RED WITH THE WORDS FIRE LANE-NO PARKING PAINTED IN WHITE ON THE FACE OF THE CURB, PER FIRE DEPT REQUIREMENTS.
- (N) DOUBLE RAMP AT CONCRETE WALK.
- (N) ACCESSIBLE CROSSWALK WITH BLUE STRIPING ON PAVEMENT.
- (N) 7'-0" CONCRETE WALK AT PARKING.
- (N) FIRE HYDRANT PER CITY STD W-3. SEE FIRE DEPT NOTES AND PW STD FOR ADDITIONAL REQUIREMENTS.
- (N) TRASH ENCLOSURE WITH CONCRETE APRON PER CITY STANDS P-33, P-34, & P-35. ENCLOSURE TO BE CONSTRUCTED AS REQUIRED BY DEPT OF SOLID WASTE.
- (N) OPEN PARKING STALL, 9 x 18 PER CITY STD
- (N) 4'-0" WIDE CONCRETE WALKWAY.
- (N) LANDSCAPE AREA. SEE LANDSCAPE DRAWINGS



PRELIMINARY SITE PLAN
SCHEME 'B'



PROJECT DATA

PROPOSED 2 STORY FLAT APARTMENT COMMUNITY EXPANSION WITH PHASE 2
 SITE ADDRESS: NEC BULLARD & DANTE AVENUES
 FRESNO, CA 93722
 A.P.N.: 506-013-08 5
 OWNER: WRIGHT EQUITIES, INC.
 ATTN: BRIAN WRIGHT
 7543 N. INGRAM AVENUE
 FRESNO, CA 93711
 TEL: (559) 277-8002

EXISTING ZONING: RM-1/UMH-z
 EX. GEN. PLAN DESIG.: RM-1 - RESIDENTIAL MEDIUM HIGH DENSITY
 PROPOSED ZONING: RM-1
 PROPOSED DENSITY: 17.25 D.U./AC.
 ALLOWABLE DENSITY: 16.13 D.U./AC.
 PROPOSED GEN. PLAN DESIG.: RM-1 - RESIDENTIAL MEDIUM HIGH DENSITY

BUILDING DATA:

OCCUPANCY USE	OCCUPANCY	NUMBER OF STORES
DWELLING UNITS	R-2	TWO STORY
GARAGES & CARPORTS	U-1	SINGLE STORY
CONSTRUCTION TYPE: DWELLING UNITS, GARAGES & CARPORTS	5B	

PARKING:

REQUIRED PARKING: 1.0 STALLS / D.U. FOR 1-BR & 2-BR (1 STALL/D.U. TO BE COVERED)
 1.0 STALLS / 2-D.U. FOR GUEST PARKING

	OPEN	COVERED
1BR & 2BR	= 64 UNITS / 1.0 D.U. =	0 STALLS
GUEST	= 64 UNITS / 2 D.U. =	32 STALLS
TOTAL STALLS REQUIRED	= 32 STALLS +	64 STALLS = 96 STALLS

PROVIDED PARKING:

	OPEN	COVERED
OPEN STALLS	= 32 STALLS	
CARPORT STALLS (13 CARPORTS)		= 54 STALLS
GARAGE STALLS (5 GARAGES)		= 18 STALLS
TOTAL STALLS PROVIDED	= 32 STALLS +	72 STALLS = 104 STALLS (152 STALLS/D.U.)

SITE AREA AND COVERAGE:

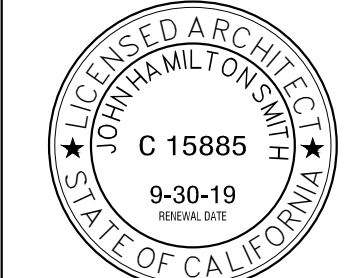
SITE AREA: = 3.71 ACRES (6,161,807.5 S.F.)
 SITE COVERAGE: = %

UNIT MIX:

1BR BUILDING	=	6 BLDGS - 48 UNITS	(75%)
2BR BUILDING	=	2 BLDGS - 16 UNITS	(25%)
TOTAL	=	8 BLDGS - 64 UNITS	



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SCHEME 'B'

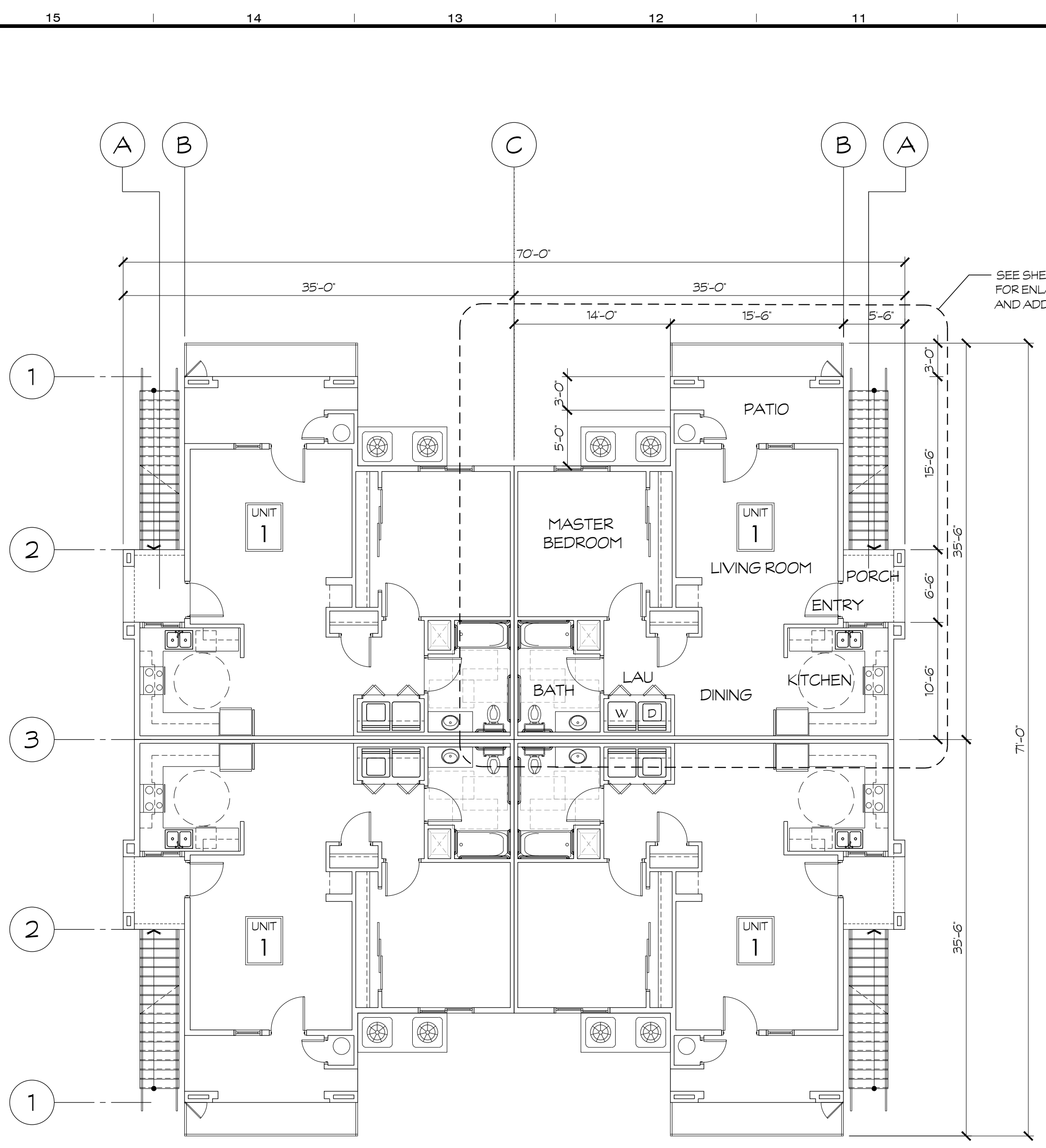
THE ORCHARDS APARTMENTS - PHASE 2
 PHASE 2 IS LOCATED ON NEC OF DANTE AVE. & BULLARD AVE.
 XXXX W. BULLARD AVENUE
 FRESNO, CA. 93722

No.	DATE	DESCRIPTION	No.	DATE	DESCRIPTION

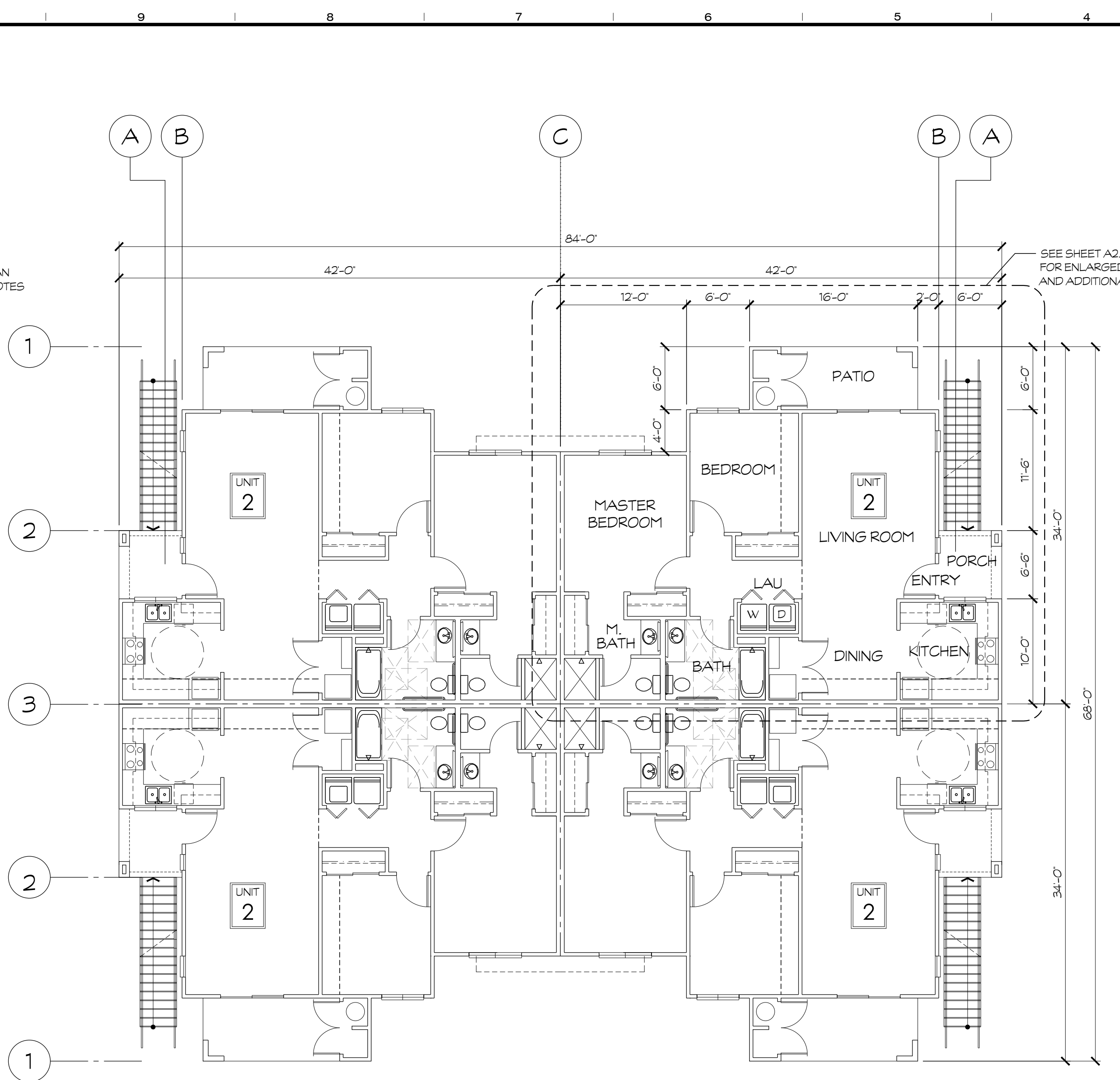
PRELIMINARY SITE PLAN

PROJECT ARCHITECT	PROJECT NUMBER	SCALE	SHEET NUMBER
18-52.1			
DRAWN BY	VARIABLES		
CHECKED BY	02.05.19	DATE	

A1.0



FLOOR PLAN
 BUILDING '1' / 1ST FLOOR
 (SEE SHEET A2.2 FOR 2ND FLOOR UNITS)
 SCALE: 1/8" = 1'-0"



FLOOR PLAN
 BUILDING '2' / 1ST FLOOR
 (SEE SHEET A2.3 FOR 2ND FLOOR UNITS)
 SCALE: 1/8" = 1'-0"

WALL LEGEND

	EXTERIOR WALL, 2x4 AT 16' O.C. WALL ASSEMBLY TYPE, SEE SHEET A8.1	1
	1-HR DWELLING SEPARATION 2x4 FRAMING AT 16' O.C., DOUBLE WALL SYSTEM WALL ASSEMBLY TYPE, SEE SHEET A8.1	2
	INTERIOR BEARING WALL, 2x4 FRAMING AT 16' O.C. WALL ASSEMBLY TYPE, SEE SHEET A8.1	3
	INTERIOR NON-BEARING WALL, 2x4 FRAMING AT 16' O.C. WALL ASSEMBLY TYPE, SEE SHEET A8.1	4
	INTERIOR PLUMBING WALL, 2x6 FRAMING AT 16' O.C. WALL ASSEMBLY TYPE, SEE SHEET A8.1	5

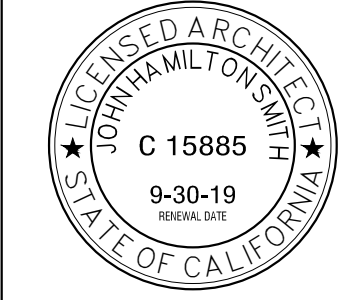
SYMBOL LEGEND

	DOOR SYMBOL - SEE SHEET A7.1 FOR DOOR SCHEDULE.
	WINDOW SYMBOL - SEE SHEET A7.1 FOR WINDOW SCHEDULE.
	INTERIOR ELEVATION SYMBOL - SEE SHEET A5.4 (SEE A5.1 FOR PATIO & ALCOVE ELEVATIONS)
	KEY NOTES, SEE THIS SHEET
	WALL ASSEMBLIES, SEE SHEET A8.1

- INSULATION NOTES (DWELLING UNITS)**
- R-49 BATT INSULATION AT ROOFS
 - R-15 BATT INSULATION AT EXTERIOR WALLS
 - R-19 THERMAL/SOUND BATT INSULATION AT FLOOR AND CEILING ASSEMBLY
 - 3 1/2" SOUND BATT INSULATION AT 1-HR DWELLING SEPARATION FIRE PARTITIONS

- GENERAL NOTES**
- DRAWINGS ARE NOT TO BE SCALED, DIMENSIONS GOVERN.
 - SEE TYPICAL UNIT FLOOR PLANS FOR TYPICAL NOTES, DIMS, ETC.
 - FIRE BLOCKS SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT CEILINGS AND FLOOR LEVELS AND AT 10 FT. INTERVALS BOTH VERTICAL AND HORIZONTAL FIREBLOCKING SHALL BE CONSTRUCTED PER CBC 708.
 - PROVIDE DRAFT STOPS AT 1-HR DWELLING SEPARATION FIRE PARTITIONS SEPARATING UNITS. DRAFTSTOPS SHALL EXTEND THROUGH ATTIC SPACE TO UNDERSIDE OF ROOF DECK. PER CBC 708.3
 - CONTRACTOR SHALL PROVIDE AND INSTALL UNIT NUMBERS AT EACH INDIVIDUAL DWELLING UNIT ON THE FACE OF THE UNIT ENTRY DOOR IN CONTRASTING COLOR USING THREE INCH (3") NUMBERS OR LETTERS. VERIFY ALPHANUMERIC NUMERICAL SEQUENCING WITH OWNER.
 -
 - THE TOLERANCE BETWEEN THE LARGEST AND SMALLEST DIMENSIONS SHALL NOT EXCEED 3/8" IN ANY FLIGHT OF STAIRS (CBC 1009.3.2)

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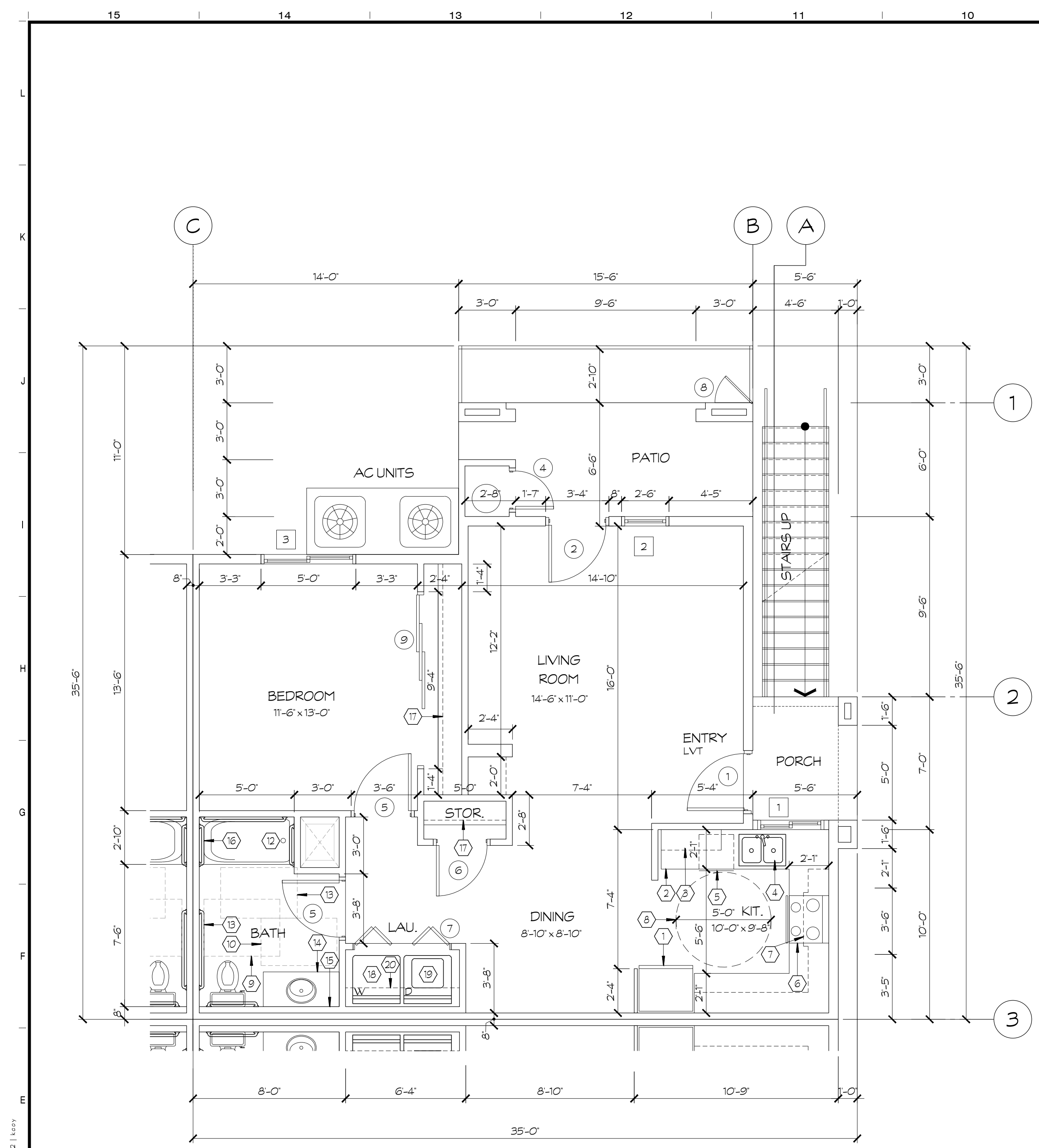
THE ORCHARDS APARTMENTS - PHASE 2
 PHASE 2 IS LOCATED ON NEC OF DANTE AVE. & BULLARD AVE.
 XXXX W. BULLARD AVENUE FRESNO, CA. 93722

No.	DATE	DESCRIPTION	No.	DATE	DESCRIPTION

PROJECT ARCHITECT: KY PROJECT NUMBER: 18-52.1 PROJECT NUMBER: 18-52.1 SCALE: 1/8" = 1'-0" SHEET NAME: BUILDING FLOOR PLANS BUILDING TYPES '1' & '2' SHEET NUMBER: A2.1

DATE: 02.05.19

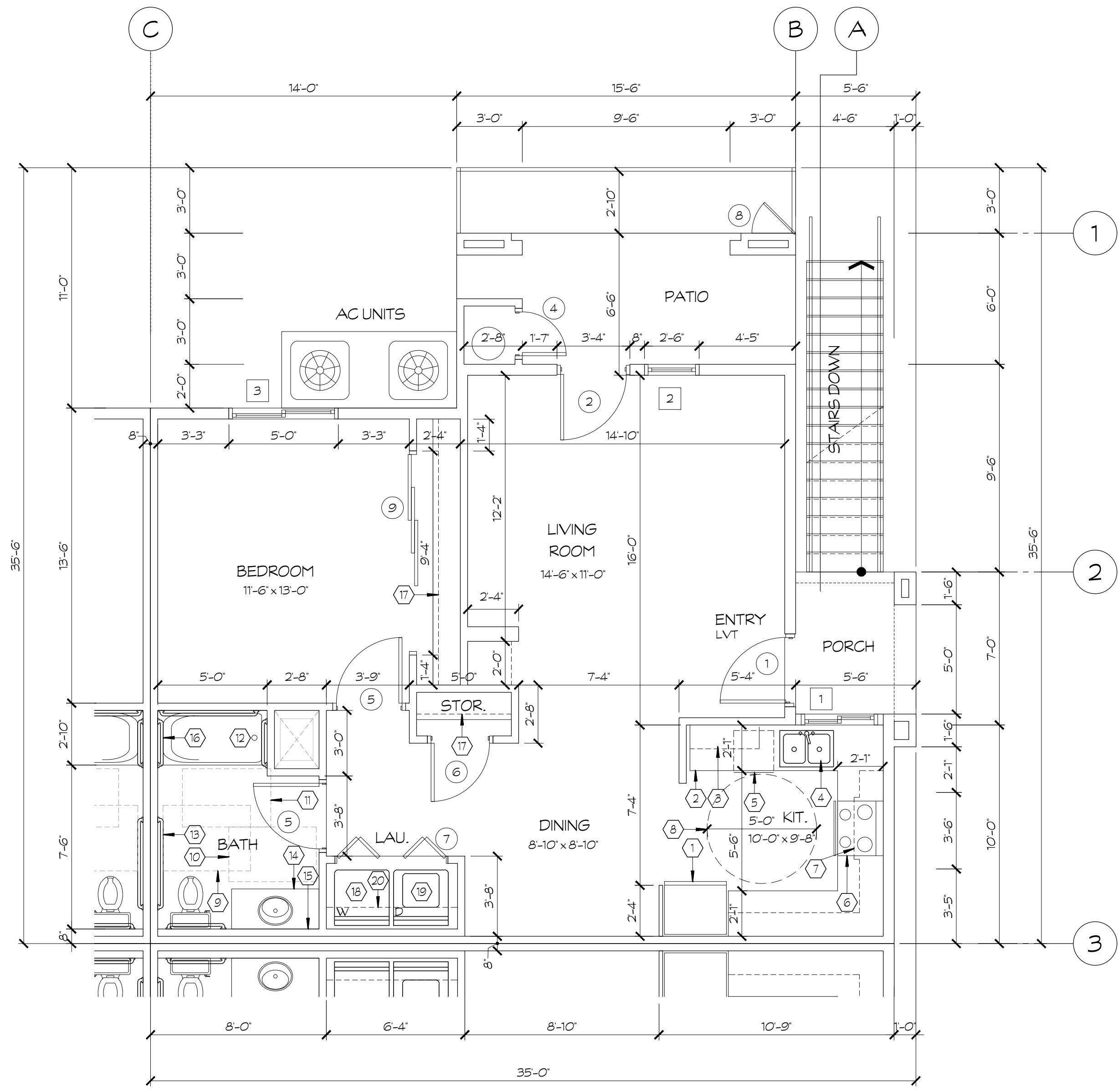
e:\18-52.1_wright_apartments - the orchards.apts. ph 1\entire\work\18-52.1_d2.1_bldg floor plans.dwg | A2.1 | BLDG F.L.R. PLANS | 2019.02.09 06:30 | kasy



FLOOR PLAN
UNIT '1' / FIRST FLOOR

CBC1134A - OPT1
SCALE: 1/4" = 1'-0"

1ST FLOOR BUILDING AREAS	
PATIO/ALCOVE:	126 S.F.
PORCH:	36 S.F.
1st FLOOR:	612 S.F.
1st FLOOR TOTAL:	774 S.F.



FLOOR PLAN
UNIT '1' / SECOND FLOOR

CBC1134A - OPT1
SCALE: 1/4" = 1'-0"

2ND FLOOR BUILDING AREAS	
PATIO/ALCOVE:	126 S.F.
PORCH:	36 S.F.
2nd FLOOR:	612 S.F.
2nd FLOOR TOTAL:	774 S.F.

KEYNOTES

- REFRIGERATOR
- 24" DEEP BASE CABINET
- 12" DEEP UPPER CABINET
- 2 COMPARTMENT KITCHEN SINK WITH DISPOSAL
- DISHWASHER
- RANGE W/ HOOD W/ SEPARATE REMOTE SWITCH LOCATED DISPOSAL SWITCH AT 44"
- MICROWAVE OVEN / HOOD COMBO UNIT ABOVE RANGE
- 60" DIA. ACCESSIBLE CLEARANCE
- 36" x 48" ACCESSIBLE CLEARANCE AT TOILET
- 30" x 48" ACCESSIBLE CLEARANCE AT TUB
- 30" x 48" ACCESSIBLE CLEARANCE AT LAVATORY
- 40" ABOVE DRAIN INLET SMOOTH SURFACE FIBERGLASS TUB/SHOWER UNIT - SEE PLUMBING PLANS
- T.P. HOLDER
- ONE PIECE TOP AND LAVATORY
- MIRROR
- TOWEL BAR
- SHELF AND POLE
- CLOTHES WASHER
- CLOTHES DRYER
- SHELF
- WATER HEATER, LOCATED IN SECOND FLOOR CLOSET
- GAS FURNACE UNIT, SEE MECH. DRAWINGS.
- DASHED LINE INDICATES FURRED CEILING AT +8'-0" A.F.F. 2x4 C.J. AT 16" O.C. SEE DETAIL 3 / A8.4
- LINE OF 22"x30" ATTIC ACCESS AT CLG OF SECOND FLOOR. W/ LOCK. SEE DETAIL 5/A8.4
- 15" WIDE BREADBOARD, TYP. OF 2 PER KITCHEN PER CBC REQUIREMENTS.
- MECHANICAL SCREEN WALL. SEE DETAIL 11/A1.6
- SEMI-RECESSED FIRE EXTINGUISHER CAB. WITH (1) 2A10B.C EXTINGUISHER. SEE SHEET A2.1 FOR LOCATIONS. SEE DETAIL 18/A8.4

WALL LEGEND

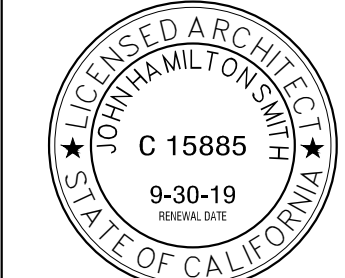
- EXTERIOR WALL, 2 x 4 AT 16" O.C. WALL ASSEMBLY TYPE, SEE SHEET A8.1 1
- 1-HR DWELLING SEPARATION 2 x 4 FRAMING AT 16" O.C., DOUBLE WALL SYSTEM WALL ASSEMBLY TYPE, SEE SHEET A8.1 2
- INTERIOR BEARING WALL, 2 x 4 FRAMING AT 16" O.C. WALL ASSEMBLY TYPE, SEE SHEET A8.1 3
- INTERIOR NON-BEARING WALL, 2x4 FRAMING AT 16" O.C. WALL ASSEMBLY TYPE, SEE SHEET A8.1 4
- INTERIOR PLUMBING WALL, 2x6 FRAMING AT 16" O.C. WALL ASSEMBLY TYPE, SEE SHEET A8.1 5

SYMBOL LEGEND

- DOOR SYMBOL - SEE SHEET A7.1 FOR DOOR SCHEDULE.
- WINDOW SYMBOL - SEE SHEET A7.1 FOR WINDOW SCHEDULE.
- INTERIOR ELEVATION SYMBOL - SEE SHEET A5.4 (SEE A5.1 FOR PATIO & ALCOVE ELEVATIONS)
- KEY NOTES, SEE THIS SHEET
- WALL ASSEMBLIES, SEE SHEET A8.1



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THE ORCHARDS APARTMENTS - PHASE 2
PHASE 2 IS LOCATED ON NEC OF DANTE AVE. & BULLARD AVE.
XXXX W. BULLARD AVENUE FRESNO, CA. 93722

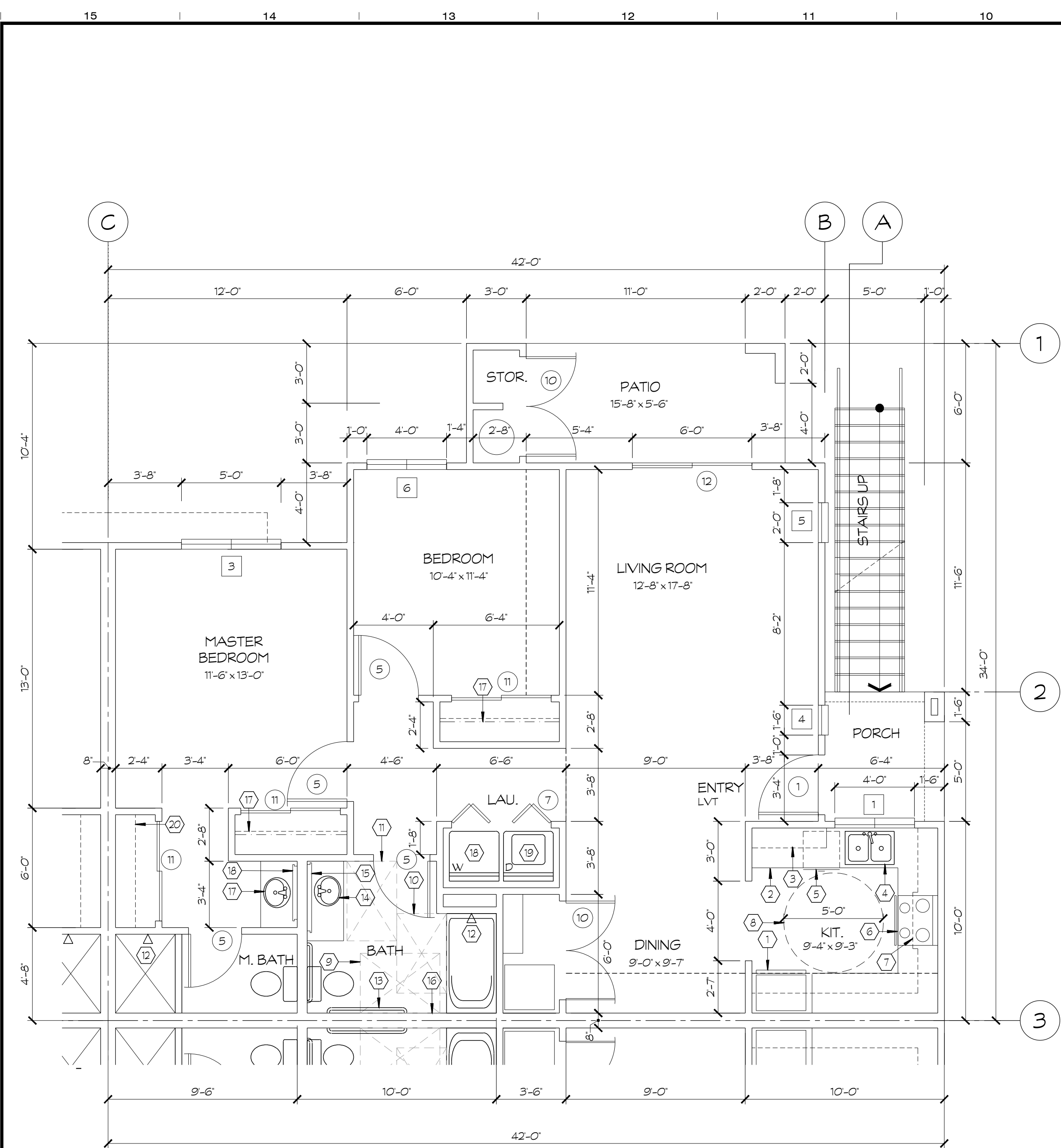
No.	DATE	DESCRIPTION	No.	DATE	DESCRIPTION

UNIT FLOOR PLANS
UNIT TYPES '1'

PROJECT ARCHITECT	18-52.1	PROJECT NUMBER	
DRAWN BY		SCALE	1/4" = 1'-0"
CHECKED BY	02.05.19	DATE	

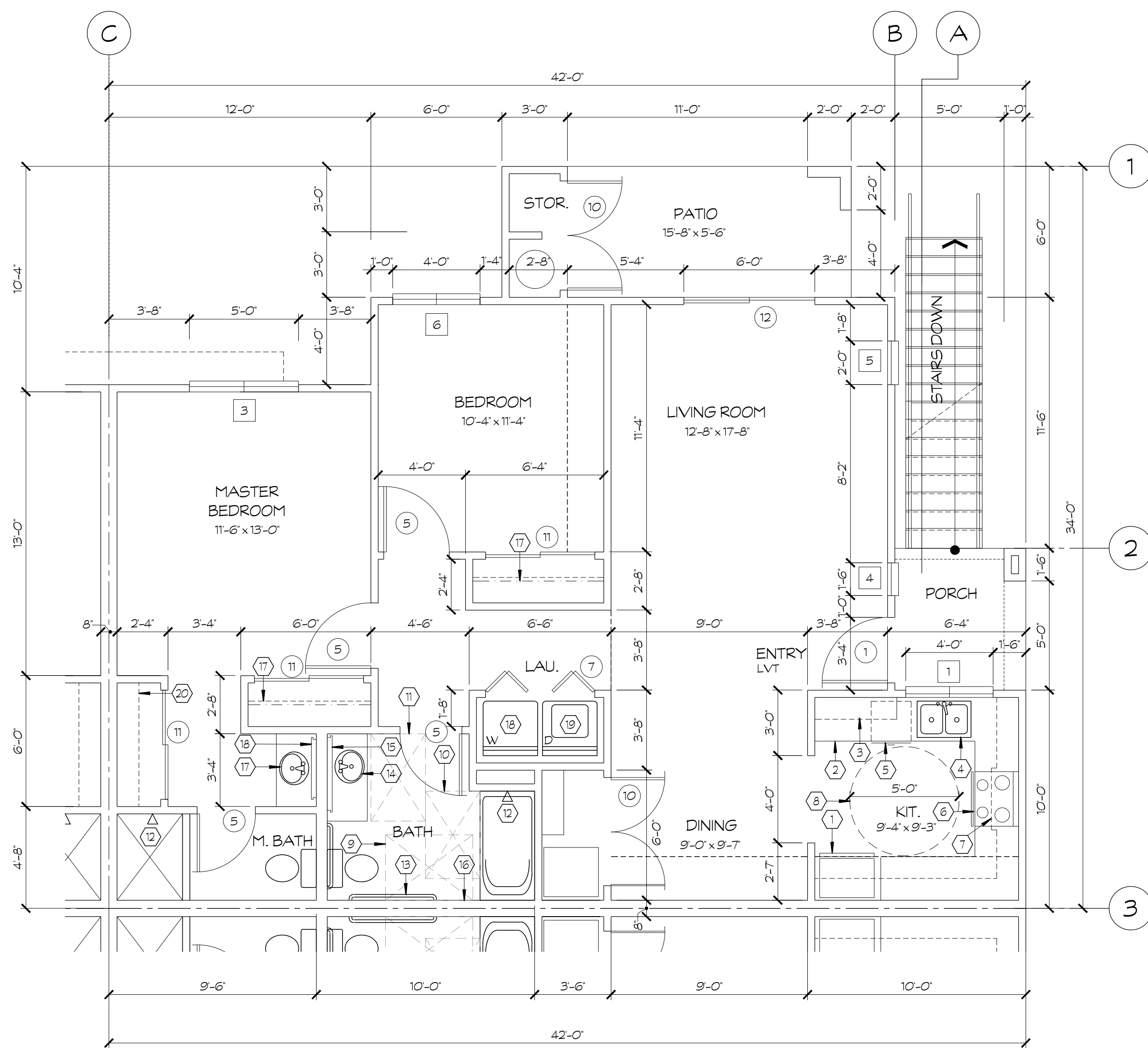
A2.2

E:\18-52.1\wright equities - the orchards.apts. ph 1\entire\entire\work\18-52.1_L2.2 unit floor plans.dwg | A2.2 UNIT FLOOR PLANS | 2018.02.09 08:32 | key



FLOOR PLAN
UNIT '2' FIRST FLOOR
SCALE: 1/4" = 1'-0"

1ST FLOOR BUILDING AREAS	
PATIO/STG.	88 S.F.
PORCH/ALCOVE	36 S.F.
1st FLOOR	783 S.F.
1st FLOOR TOTAL	907 S.F.



FLOOR PLAN
UNIT '2' SECOND FLOOR
SCALE: 1/4" = 1'-0"

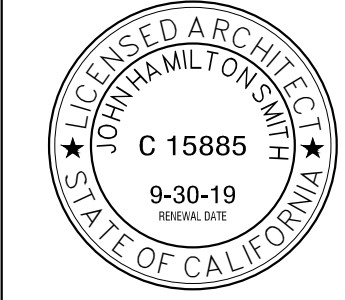
2ND FLOOR BUILDING AREAS	
PATIO/STG.	88 S.F.
PORCH/W.H. CLO.	36 S.F.
2nd FLOOR	783 S.F.
2nd FLOOR TOTAL	907 S.F.

- ### KEYNOTES
- REFRIGERATOR
 - 24" DEEP BASE CABINET
 - 12" DEEP UPPER CABINET
 - 2 COMPARTMENT KITCHEN SINK WITH DISPOSAL
 - DISHWASHER
 - RANGE W/ HOOD W/ SEPARATE REMOTE SWITCH LOCATED DISPOSAL SWITCH AT 44"
 - MICROWAVE OVEN / HOOD COMBO UNIT ABOVE RANGE
 - 60" DIA. ACCESSIBLE CLEARANCE
 - 36" x 48" ACCESSIBLE CLEARANCE AT TOILET
 - 30" x 48" ACCESSIBLE CLEARANCE AT TUB
 - 30" x 48" ACCESSIBLE CLEARANCE AT LAVATORY
 - +70" ABOVE DRAIN INLET SMOOTH SURFACE FIBERGLASS TUB/SHOWER UNIT - SEE PLUMBING PLANS
 - T.P. HOLDER
 - ONE PIECE TOP AND LAVATORY
 - MIRROR
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 - CLOTHES DRYER
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 - DASHED LINE INDICATES FURRED CEILING AT +8'-0" A.F.F. 2x4 C.J. AT 16" O.C. SEE DETAIL 3/A8.4
 - LINE OF 22"x30" ATTIC ACCESS AT CLG OF SECOND FLOOR. W/ LOCK. SEE DETAIL 5/A8.4
 - 15" WIDE BREADBOARD, TYP. OF 2 PER KITCHEN PER CBC REQUIREMENTS.
 - MECHANICAL SCREEN WALL, SEE DETAIL 11/A1.6
 - SEMI-RECESSED FIRE EXTINGUISHER CAB. WITH (1) 2A10B.C EXTINGUISHER. SEE SHEET A2.1 FOR LOCATIONS. SEE DETAIL 18/A8.4

- ### WALL LEGEND
- EXTERIOR WALL, 2x4 AT 16" O.C. WALL ASSEMBLY TYPE, SEE SHEET A8.1
 - 1-HR DWELLING SEPARATION 2x4 FRAMING AT 16" O.C., DOUBLE WALL SYSTEM WALL ASSEMBLY TYPE, SEE SHEET A8.1
 - INTERIOR BEARING WALL, 2x4 FRAMING AT 16" O.C. WALL ASSEMBLY TYPE, SEE SHEET A8.1
 - INTERIOR NON-BEARING WALL, 2x4 FRAMING AT 16" O.C. WALL ASSEMBLY TYPE, SEE SHEET A8.1
 - INTERIOR PLUMBING WALL, 2x6 FRAMING AT 16" O.C. WALL ASSEMBLY TYPE, SEE SHEET A8.1

- ### SYMBOL LEGEND
- DOOR SYMBOL - SEE SHEET A7.1 FOR DOOR SCHEDULE.
 - WINDOW SYMBOL - SEE SHEET A7.1 FOR WINDOW SCHEDULE.
 - INTERIOR ELEVATION SYMBOL - SEE SHEET A5.4 (SEE A5.1 FOR PATIO & ALCOVE ELEVATIONS)
 - KEYNOTES, SEE THIS SHEET
 - WALL ASSEMBLIES, SEE SHEET A8.1

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PROJECT NAME
THE ORCHARDS APARTMENTS - PHASE 2
PHASE 2 IS LOCATED ON NEC OF DANTE AVE. & BULLARD AVE.
XXXX W. BULLARD AVENUE FRESNO, CA. 93722

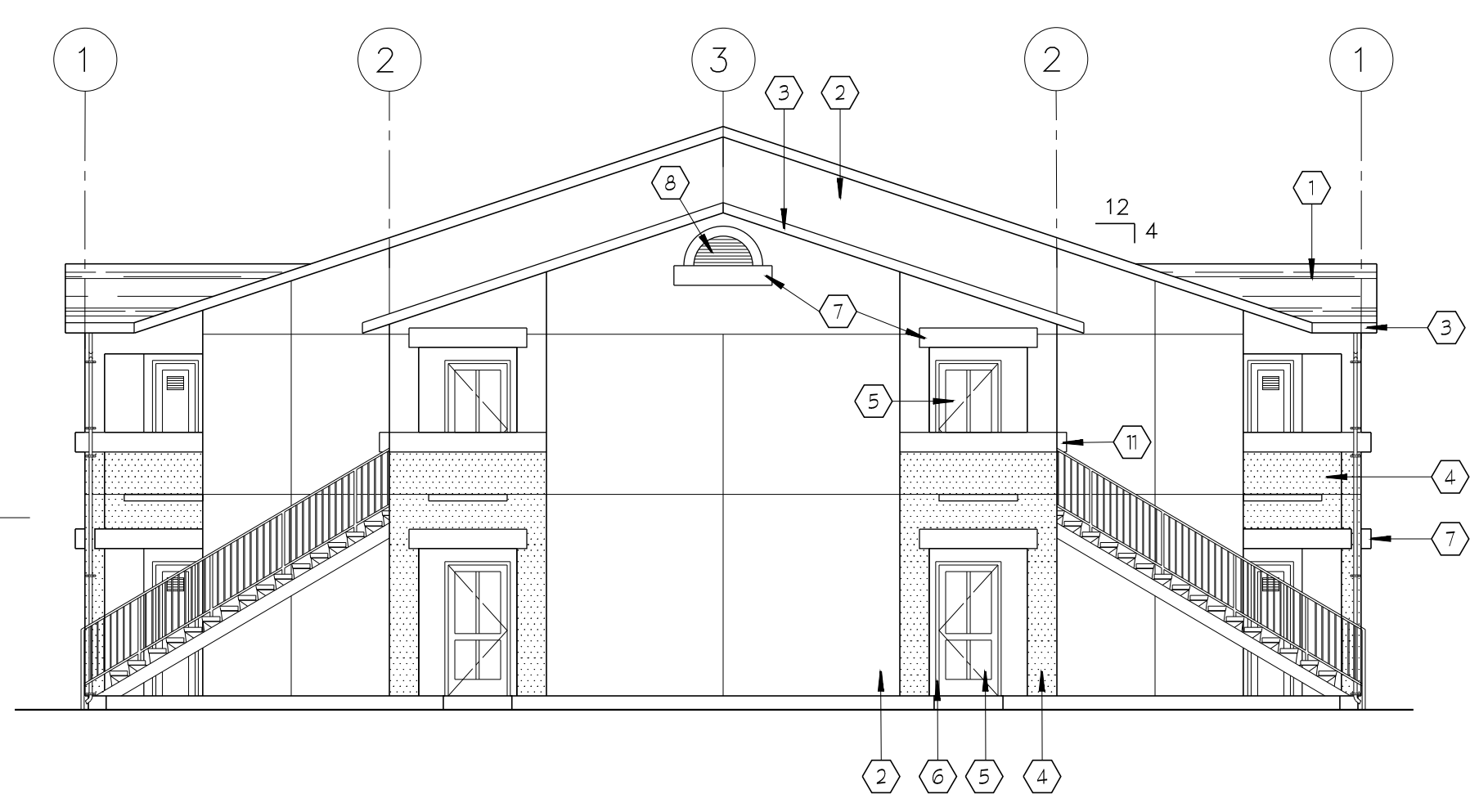
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PROJECT ARCHITECT: 18-52.1 PROJECT NUMBER: 18-52.1
DRAWN BY: SCALE: 1/4" = 1'-0"
CHECKED BY: 02.05.19 DATE: 02.05.19

UNIT FLOOR PLANS
UNIT TYPES '2'
A2.3

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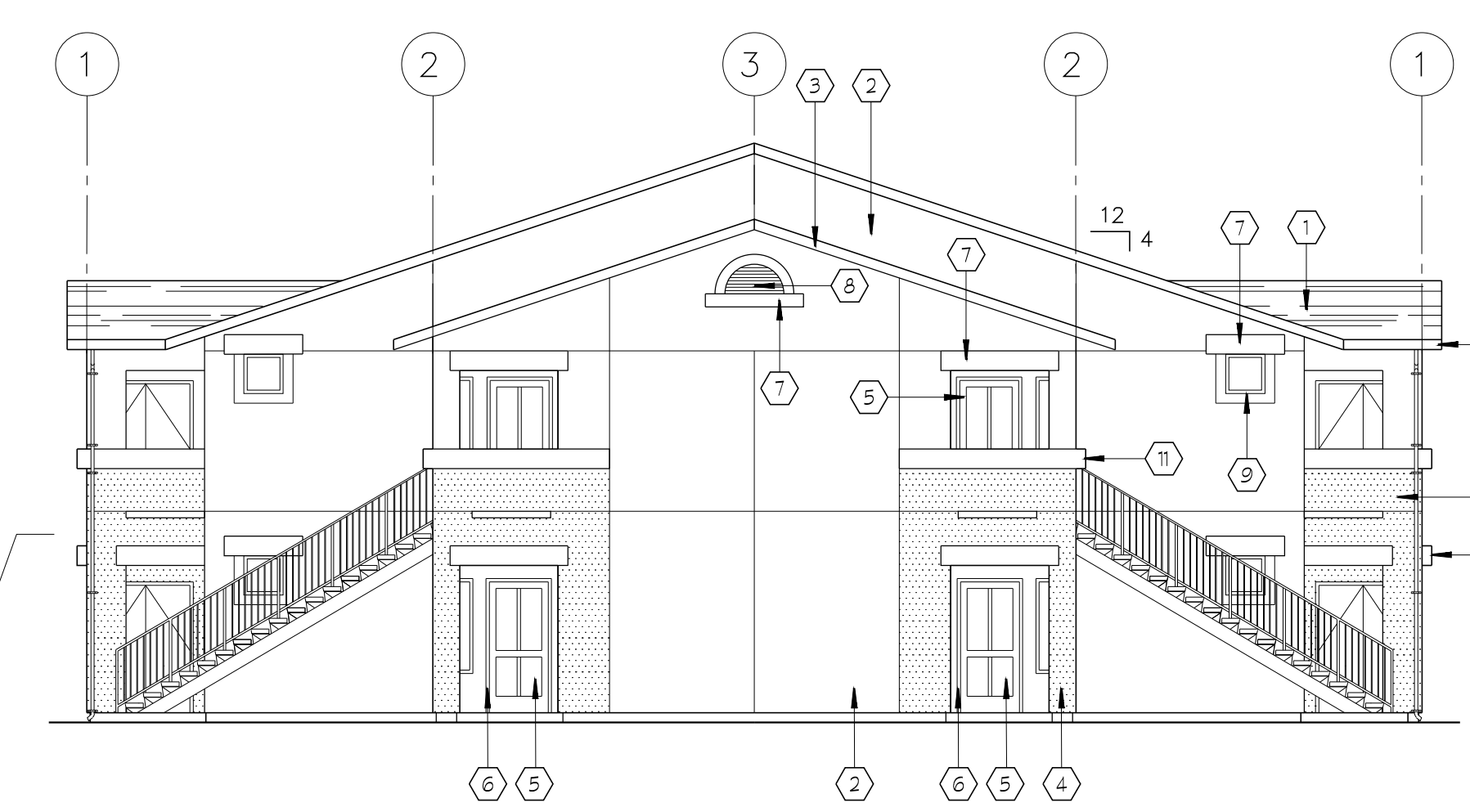
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1 SIDE 1 ELEVATION
BUILDING 1
SCALE: 1/8" = 1'-0"



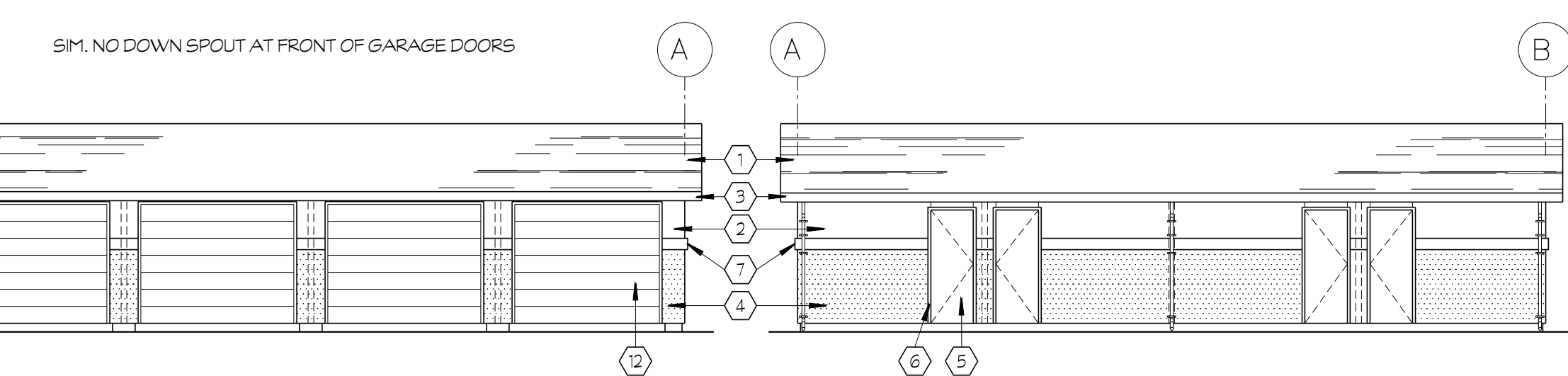
2 FRONT ELEVATION
BUILDING 1
SCALE: 1/8" = 1'-0"



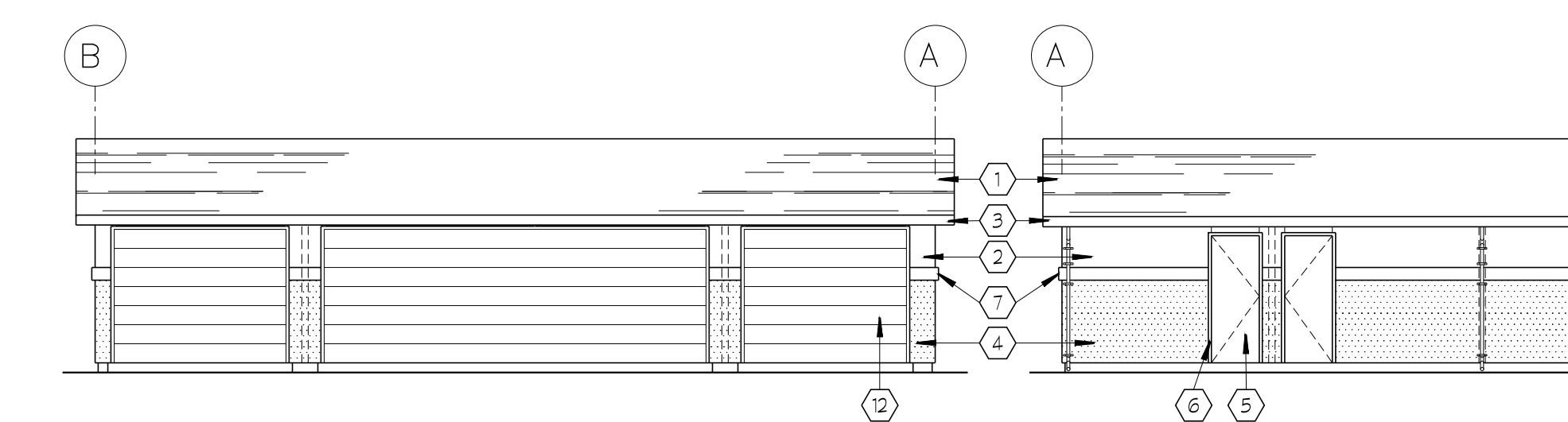
3 SIDE 1 ELEVATION
BUILDING 2
SCALE: 1/8" = 1'-0"



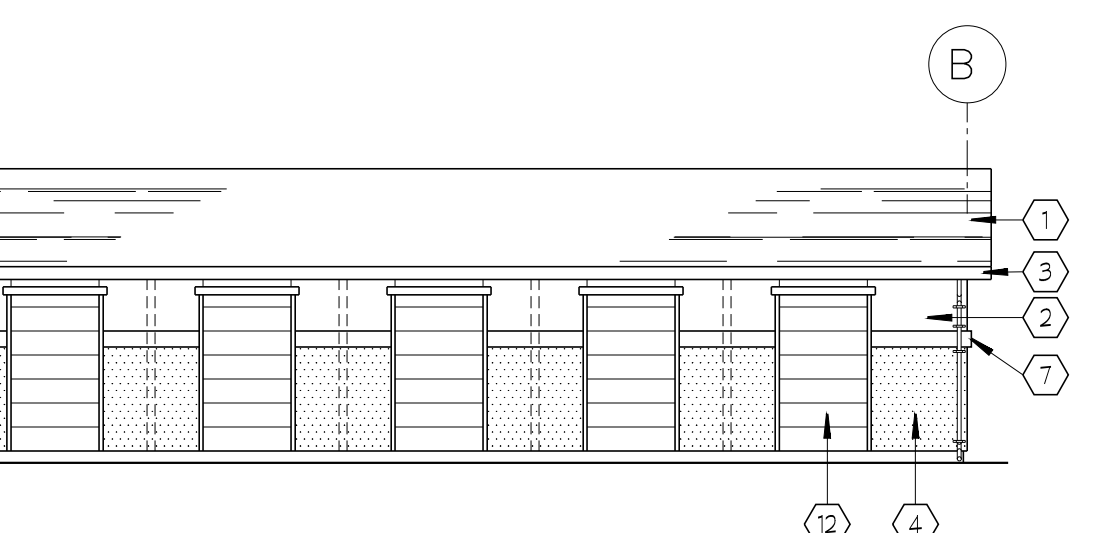
4 FRONT ELEVATION
BUILDING 2
SCALE: 1/8" = 1'-0"



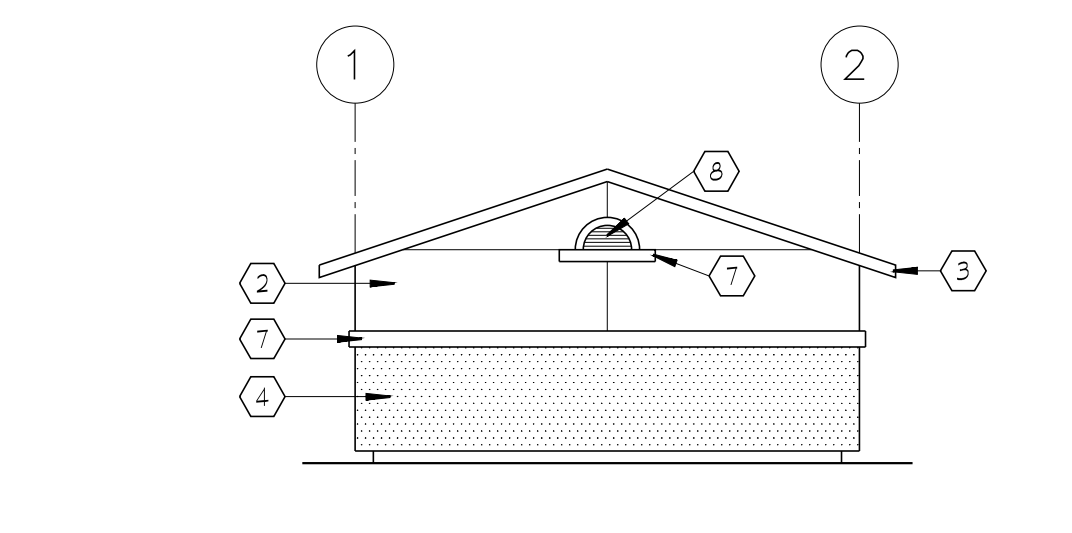
6 GARAGE-FRONT ELEVATION
TYPICAL
SCALE: 1/8" = 1'-0"



5 GARAGE-REAR ELEVATION
TYPICAL
SCALE: 1/8" = 1'-0"



9 STORAGE-FRONT/REAR ELEVATION
TYPICAL
SCALE: 1/8" = 1'-0"



10 GARAGE/ACC. GARAGE/STORAGE-SIDE ELEVATION
TYPICAL
SCALE: 1/8" = 1'-0"

KEYNOTES		
KEY	MATERIAL	FINISH
①	COMPOSITION ROOFING	CERTAIN TEED MOIRE BLACK
②	INTEGRAL COLOR STUCCO	TO BE SELECTED
③	FASCSIA 2X8 WOOD TRIM	FRAZEE # 181 WHITE SHADOW
④	ACCENT STUCCO	FRAZEE # 8584M GREY EXPECTATIONS
⑤	ENTRY DOORS	FRAZEE # 8356N MACKAY CEDAR
⑥	ALTERNATE ENTRY DOOR COLOR	FRAZEE # 8506A VALLEY FORGE BLUE
⑦	DOOR FRAMES	MATCH INTEGRAL COLOR STUCCO
⑧	FOAM TRIM	FRAZEE # 181 WHITE SHADOW
⑨	GALVANIZED LOUVERED VENTS SEE ROOF PLAN	MATCH INTEGRAL COLOR STUCCO
⑩	VINYL W/ FOAM TRIM WINDOWS	WHITE
⑪	SLIDING GLASS DOOR	WHITE BAKED ENAMEL
⑫	PRE-MANUFAC. CONC. TREADS	
⑬	MOTORIZED, SECTIONAL OVERHEAD DOOR	MATCH INTEGRAL COLOR STUCCO
⑭	HOLLOW METAL DOORS	MATCH INTEGRAL COLOR STUCCO
⑮	PORCELAIN TILE WITH EPOXY GROUT	TO BE SELECTED
⑯	NOT USED	

ARCHITECT TO APPROVE PAINT BRUSH-OUTS

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No.	DATE	DESCRIPTION	No.	DATE	DESCRIPTION
EXTERIOR ELEVATIONS					
PROJECT ARCHITECT		18-52.1	PROJECT NUMBER		SHEET NUMBER
DRAWN BY		VARES	SCALE		A5.1
CHECKED BY		02.05.19	DATE		