

**SITE PLAN NOTES:**

- SITE DRAINAGE: GENERAL INTENT IS TO CONVEY RAIN WATER RUNOFF FROM NEW PAVING TO EXISTING CITY STORM SYSTEM
- PROPERTY LINES: THE LINES SHOWN ARE BASED ON AVAILABLE INFORMATION FROM COUNTY PLOT MAP AND SITE INVESTIGATION
- PROVIDE A MINIMUM 12" ADDRESS ON THE SIDE OF THE BUILDING FOR BUILDINGS GREATER THAN 50' FROM THE STREET AND A MINIMUM 6" ON THE SIDE OF THE BUILDING FOR BUILDINGS 50' OR LESS FROM THE STREET
- SIGNS, OTHER THAN DIRECTIONAL SIGNS, IF APPLICABLE, ARE NOT APPROVED FOR INSTALLATION AS PART OF THIS SPECIAL PERMIT. SHOULD ADDITIONAL SIGNS BE REQUIRED, THE APPLICANT MUST SUBMIT FOR A SIGN REVIEW PERMIT. APPLICATIONS AND REQUIREMENTS FOR SUBMITTAL ARE AVAILABLE AT THE PLANNING DIVISION'S PUBLIC FRONT COUNTER.
- ALL CONST. WORK ON THIS PROJECT IS SUBJECT TO INTERRUPTION IF THE ROAD SYSTEM BECOMES IMPASSABLE FOR FIRE APPARATUS DUE TO RAIN OR OTHER OBSTACLES.
- THE PROJECT WILL BE SUBJECT TO SAN JOAQUIN VALLEY UNIFIED AIR POLLUTION CONTROL DISTRICT REGULATION VII TO REDUCE PM-10 EMISSIONS
- ALL ROOF MOUNTED MECHANICAL EQUIPMENT TO BE SCREENED, METHOD APPROVED BY CITY. EQUIPMENT HAVE NOISE LEVEL RATING OF 55LDBN MAX. MEASURED AT NEAREST PROPERTY LINE. IF EXCEEDING THIS LEVEL, PROVIDE ACOUSTIC BAFFLES TO REDUCE TO BELOW THIS LEVEL.
- ANY ACTIVE RODENT OR INSECT INFESTATION SHOULD BE ABATED PRIOR TO DEMOLITION WORK TO PREVENT SPREAD OF VECTORS TO ADJACENT PROPERTIES.
- PRIOR TO FINAL INSPECTION, A WRITTEN CERTIFICATION, SIGNED BY A LANDSCAPE PROFESSIONAL APPROVED BY THE DIRECTOR, SHALL BE SUBMITTED STATING THAT THE REQUIRED LANDSCAPING AND IRRIGATION SYSTEM WAS INSTALLED IN ACCORDANCE W/ THE LANDSCAPING AND IRRIGATION PLANS APPROVED BY THE DEVELOPMENT SERVICES DIVISION, DEVELOPMENT DEPT.
- LANDSCAPING MUST BE IN PLACE BEFORE ISSUANCE OF CERTIFICATE OF OCCUPANCY. A HOLD ON OCCUPANCY SHALL BE PLACED ON THE PROPOSED DEVELOPMENT UNTIL SUCH TIME THAT THE LANDSCAPING HAS BEEN APPROVED AND VERIFIED FOR PROPER INSTALLATION BY THE DEVELOPMENT SERVICES DIVISION.
- TREES SHALL BE MAINTAINED IN GOOD HEALTH. HOWEVER, TREES MAY NOT BE TRIMMED OR PRUNED TO REDUCE THE NATURAL HEIGHT OR OVERALL GROWTH OF THE TREE, EXCEPT AS NECESSARY FOR THE HEALTH OF THE TREE & PUBLIC SAFETY OR AS OTHERWISE BE APPROVED BY THE DEV. DEPT. AND RESOURCE MANAGEMENT DEPARTMENT.
- NO USES OF LAND, BUILDINGS, OR STRUCTURES OTHER THAN SPECIFICALLY APPROVED PURSUANT TO THIS SITE PLAN SHALL BE PERMITTED.
- ALL ACCESSIBLE STALLS SHALL BE MARKED WITH THE INTERNATIONAL SYMBOL OF SPACES AND A WARNING THAT VEHICLES IN VIOLATION OF SECTION 10-1017 OF THE FRESNO MUNICIPAL CODE SHALL BE TOWED AWAY. THE INTERNATIONAL SYMBOL AND TOW AWAY WARNING SHALL BE POSTED CONSPICUOUSLY ON SEVEN FOOT POLES.
- ALL ACCESSIBLE PARKING STALLS SHALL BE PLACED ADJACENT TO FACILITY ACCESS RAMPS OR IN STRATEGIC AREAS WHERE THE ACCESSIBLE SHALL NOT HAVE TO WHEEL OR WALK BEHIND PARKED VEHICLES WHILE TRAVELING TO OR FROM ACCESSIBLE PARKING STALLS OR RAMPS.
- LIGHTING WHERE PROVIDED TO ILLUMINATE PARKING, SALES OR DISPLAY AREAS SHALL BE HOODED AND SO ARRANGED AND CONTROLLED SO AS TO NOT CAUSE A NUISANCE EITHER TO HIGHWAY TRAFFIC OR TO THE LIVING ENVIRONMENT. THE AMOUNT OF LIGHT SHALL BE PROVIDED ACCORDING TO THE STANDARDS OF THE DEPT. OF PUBLIC WORKS
- ON-SITE LIGHTING TO CONFORM TO ORDINANCES AND TO BE WALL MOUNTED, OR GROUND MOUNTED, SHIELDED BOX TYPE, HOODED & CONTROLLED SO AS TO PREVENT GLARE ON ADJACENT PROPERTIES. LAYOUT AND ENGINEERING TO BE REVIEWED UNDER BUILDING PLAN CHECK. LAYOUT SHOWN IS ONLY PRELIMINARY TO INDICATE INTENT. AMOUNT OF LIGHT PER STANDARDS OF DEPT. OF P.W.
- ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A PERSON LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF CALIFORNIA.
- REPAIR ALL DAMAGED AND/OR OFF-GRADE CONCRETE STREET IMPROVEMENTS AS DETERMINED BY THE PUBLIC WORKS DEPT., CONSTRUCTION MANAGEMENT ENGINEER PRIOR TO OCCUPANCY.
- CONTACT PUBLIC WORKS DEPT., TRAFFIC ENGINEERING 10 WORKING DAYS PRIOR TO ANY OFF-SITE CONCRETE CONSTRUCTION.
- A BACKFLOW PREVENTION DEVICE MAY BE REQUIRED. CONTACT PUBLIC WORKS DEPT., WATER DIVISION FOR REQUIREMENTS. DEVICES MUST BE INSTALLED ON-SITE IN A LOCATION APPROVE BY THE THE CROSS CONNECTION CONTROL OFFICER. A PLUMBING PERMIT IS REQUIRED TO INSTALL DEVICE. BACKFLOW PREVENTION DEVICES REQUIRED SHALL BE INSTALLED AT THE OWNERS EXPENSE BY A QUALIFIED JOURNEYMAN PLUMBER CERTIFIED AS COMPETENT FOR SUCH PURPOSES BY THE WATER SYSTEMS MANAGER. BACKFLOW DEVICES MUST BE TESTED AND ACCEPTED BY THE WATER DIVISION PRIOR TO GRANTING BUILDING OCCUPANCY. DEVELOPER IS RESPONSIBLE TO CONTACT THE WATER DIVISION A MIN. OF 5 DAYS PRIOR TO REQUEST FOR FINAL BUILDING INSPECTION.
- THE BACKFLOW DEVICE SHALL BE SCREENED BY LANDSCAPING OR OTHER MEANS AS MAY BE APPROVED
- IF THERE ARE SUSPECTED HUMAN REMAINS, THE FRESNO COUNTY CORONER SHALL BE CONTACTED IMMEDIATELY. IF THE REMAINS OR OTHER ARCHEOLOGICAL MATERIAL IS POSSIBLY NATIVE AMERICAN IN ORIGIN, THE NATIVE AMERICAN HERITAGE COMMISSION (PHONE 916-653-4082) SHALL BE IMMEDIATELY CONTACTED, AND THE CALIFORNIA ARCHEOLOGICAL INVENTORY / SOUTHERN SAN JOAQUIN VALLEY INFORMATION CENTER (PHONE 805-644-2289) SHALL BE CONTACTED TO OBTAIN A REFERRAL LIST OF RECOGNIZED ARCHEOLOGISTS. AN ARCHEOLOGICAL ASSESSMENT SHALL BE CONDUCTED FOR THE PROJECT. THE SITE SHALL BE FORMALLY RECORDED, AND RECOMMENDATIONS MADE TO THE COUNTY AS TO ANY FURTHER SITE INVESTIGATION OR SITE AVOIDANCE/PRESERVATION.
- IF ANIMAL FOSSILS ARE UNCOVERED, THE MUSEUM OF PALEONTOLOGY, U.C. BERKELEY SHALL BE CONTACTED TO OBTAIN A REFERRAL LIST OF RECOGNIZED PALEONTOLOGISTS. AN ASSESSMENT SHALL BE CONDUCTED BY A PALEONTOLOGIST AND, IF THE PALEONTOLOGIST DETERMINES THE MATERIAL TO BE SIGNIFICANT, IT SHALL BE PRESERVED.
- IF ARCHEOLOGICAL AND/OR ANIMAL FOSSIL MATERIAL IS ENCOUNTERED DURING PROJECT SURVEYING, GRADING, EXCAVATING OR CONSTRUCTION WORK SHALL STOP IMMEDIATELY.
- APPROVAL OF THE SPECIAL PERMIT BECOMES NULL & VOID IN THE EVENT THAT DEVELOPMENT IS NOT COMPLETED IN ACCORDANCE WITH ALL THE CONDITIONS AND REQUIREMENTS IMPOSED ON THIS SPECIAL PERMIT, THE ZONING ORDINANCE, AND ALL PUBLIC WORKS STANDARDS AND SPECIFICATIONS. THE DEVELOPMENT & RESOURCE MANAGEMENT DEPARTMENT SHALL NOT ASSUME RESPONSIBILITY FOR ANY DELETIONS OR OMISSIONS RESULTING FROM THE SPECIAL PERMIT REVIEW PROCESS, OR FOR ADDITIONS OR ALTERATIONS TO CONSTRUCTION PLANS NOT SPECIFICALLY SUBMITTED AND REVIEWED AND APPROVED PURSUANT TO THIS SPECIAL PERMIT OR SUBSEQUENT AMENDMENTS OR REVISIONS.
- 2 WORKING DAYS BEFORE COMMENCING EXCAVATION OPERATIONS WITHIN THE STREET RIGHT-OF-WAY AND/OR UTILITY EASEMENTS, ALL EXISTING UNDERGROUND FACILITIES SHALL HAVE BEEN LOCATED BY UNDERGROUND SERVICE ALERT (USA) CALL 1-800-642-2444
- OPEN STREET CUTS ARE NOT PERMITTED; ALL UTILITY CONNECTIONS MUST BE BORED.
- ALL IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS AND STANDARD DRAWINGS OF THE CITY OF FRESNO, PUBLIC WORKS DEPT. THE PERFORMANCE OF ANY WORK WITHIN THE PUBLIC STREET RIGHT-OF-WAY INCLUDING PEDESTRIAN, WATER AND SEWER UTILITY EASEMENTS) REQUIRES A STREET WORK PERMIT PRIOR TO COMMENCEMENT OF WORK. CONTACT THE CITY OF FRESNO PUBLIC WORKS DEPARTMENT ENGINEERING SERVICES SECTION FOR DETAILED INFORMATION. ALL REQUIRED STREET IMPROVEMENTS MUST BE COMPLETED AND ACCEPTED BY THE CITY PRIOR TO OCCUPANCY
- NO STRUCTURES OF ANY KIND MAY BE INSTALLED OR MAINTAINED WITHIN THE LANDSCAPED AREAS. NO EXPOSED UTILITY BOXES, TRANSFORMERS, METERS, PINS EXCEPT THE BACKFLOW PREVENTION DEVICE, ETC. ARE ALLOWED TO BE LOCATED IN THE LANDSCAPE AREAS OR SETBACKS OR ON THE STREET FRONTAGE OF THE BUILDINGS. THE BACKFLOW DEVICE SHALL BE SCREENED BY LANDSCAPING OR SUCH OTHER MEANS AS APPROVED.

**SITE ACCESSIBILITY NOTES:**

- > INDICATES ACCESSIBLE ROUTE - TO BE MIN. 48" WIDE W/ 2% MAX. CROSS SLOPE 5% MAX. RUNNING SLOPE UNLESS A RAMP IS PROVIDED
- ALL ACCESSIBLE PATHS ARE EXISTING TO REMAIN - FIELD VERIFY WHERE APPLICABLE WHERE ACCESSIBLE PATHS CROSS VEHICLE WAYS, TRUNCATED DOVES EXTEND THE ENTIRE WIDTH OF THE PATH, AND HAVE A MINIMUM DEPTH OF 3'-0"
  - THE ACCESSIBLE PATH OF TRAVEL AS DELINEATED IS A BARRIER FREE ROUTE 48" MINIMUM IN WIDTH WITH NO ABRUPT LEVEL CHANGES EXCEEDING 1/2" UNLESS BEVELED AT A 12 MAXIMUM SLOPE, AND NO VERTICAL LEVEL CHANGES EXCEEDING 1/4". THE CROSS SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL DOES NOT EXCEED 5%. THE SURFACE IS FIRM, STABLE AND SLIP RESISTANT. THE ACCESSIBLE PATH OF TRAVEL IS FREE OF OVERHANGING OBSTRUCTIONS BELOW 80" AND OBJECTS PROTRUDING GREATER THAN 4" FROM A WALL ABOVE 27" AND BELOW 80".
  - ALL PARKING IS EXISTING TO REMAIN - FIELD VERIFY WHERE APPLICABLE THAT ACCESSIBLE STALLS MEET MINIMUM OF 18'-0" DEPTH X 9'-0" WIDTH. THIS AREA IS DESIGNATED BY PAINTED STRIPES AND A PAINTED ACCESS AISLE PER THE 2016 CBC. THE BORDER AROUND THE ACCESS SHALL BE PAINTED BLUE. WHITE PAINT SHOULD BE USED ELSEWHERE FOR LONGEVITY.
  - PROVIDE METAL SIGN (17" X 22" MIN) AT EACH ENTRANCE TO OFF-STREET PARKING THAT CLEARLY STATES "UNAUTHORIZED VEHICLES PARKED IN DESIGNATED ACCESSIBLE SPACES NOT DISPLAYING DISTINGUISHING PLACARDS OR LICENSE PLATES ISSUED FOR PERSONS WITH DISABILITIES MAY BE TOWED AWAY AT OWNERS EXPENSE. TOWED VEHICLES MAY BE RECLAIMED AT, OR BY TELEPHONE". (BLANK SPACES ARE TO BE FILLED IN WITH APPROPRIATE INFORMATION AS A PERMANENT PART OF THE SIGN. OWNER SHALL FURNISH INFORMATION)
  - PROVIDE A PERMANENTLY AFFIXED METAL SIGN (70 SQ. INCH MIN WITH THE INTERNATIONAL SYMBOL OF ACCESSIBILITY) AT THE INTERIOR END OF EACH PARKING SPACE FOR THE PHYSICALLY DISABLED EITHER ON A POST (80" TO BOTTOM OF SIGN), OR ON A WALL (36" TO BOTTOM OF SIGN). PROVIDE A SIGN STATING "VAN-ACCESSIBLE" WHERE INDICATED.
  - PROVIDE A 36" SQUARE MIN INTERNATIONAL SYMBOL (BLUE/WHITE) ON THE PAVEMENT BEHIND EACH ACCESSIBLE PARKING SPACE.
  - PROVIDE A SIGN AT ALL PRIMARY BUILDING ENTRANCES HAVING A MINIMUM 5' X 5' SYMBOL OF ACCESSIBILITY.
  - OBSTRUCTIONS OR STEPS ARE NOT PERMITTED ALONG ANY NORMAL ACCESSIBLE ROUTES OF TRAVEL.
  - PROVIDE A MINIMUM WIDTH OF 48" FOR ALL SIDEWALKS, (INCLUDING IN FRONT OF ANY PARKED VEHICLES) WITH NO ABRUPT OFFSETS GREATER THAN 1/2 INCH.
  - ALL ENTRANCES AND EXTERIOR GROUND FLOOR EXIT DOORS TO BUILDINGS AND FACILITIES SHALL BE ACCESSIBLE TO PERSONS WITH DISABILITIES. SITE DEVELOPMENT AND GRADING SHALL BE DESIGNED TO PROVIDE ACCESS TO ALL ENTRANCES AND EXTERIOR GROUND FLOOR EXITS.
  - MAXIMUM SLOPE OF RAMPS ALONG EXITSWAYS OR ACCESSIBLE PATHS OF TRAVEL IS 1/2 MAX. HANDRAILS ARE REQUIRED WHEN SLOPE EXCEEDS 1/20
  - PROVIDE A MINIMUM 60" X 60" LANDING AT THE TOP OF EVERY RAMP, PROVIDED A DOOR DOES NOT SWING INTO THAT AREA. IF SO, A MIN. 42" CLEAR DEPTH BEYOND THE SWING OF THE DOOR WHEN THE DOOR IS AT 90 DEG. TO THE OPENING X 60" WIDE.
  - PROVIDE AN ACCESSIBLE LANDING (MAX. SLOPE OF 2% IN ANY DIRECTION) AT ALL EXTERIOR DOORS. FOR MANEUVERING CLEARANCES, THE LEVEL LANDING MUST BE 60" ON THE PULL SIDE AND 24" CLEAR ON THE STRIKE EDGE OF THE DOOR TO THE EDGE OF THE LANDING.
  - MAINTAIN A MAXIMUM SLOPE OF 5% (2% CROSS SLOPE) FROM THE LEVEL LANDING AT THE TOP OF CURB RAMP TO LEVEL LANDING AT THE MAIN ENTRANCE.
  - THE MAXIMUM CROSS SLOPE OF ALL LANDINGS, RAMPS AND/OR WALKS SHALL BE 2%.
  - PROVIDE 24" CLEAR FROM STRIKE EDGE OF ALL EXTERIOR DOORS AND EDGES OF LANDINGS
  - A MAXIMUM SLOPE OF 2% IN ANY DIRECTION IN THE ACCESSIBLE PARKING SPACES AND UNLOADING ZONES

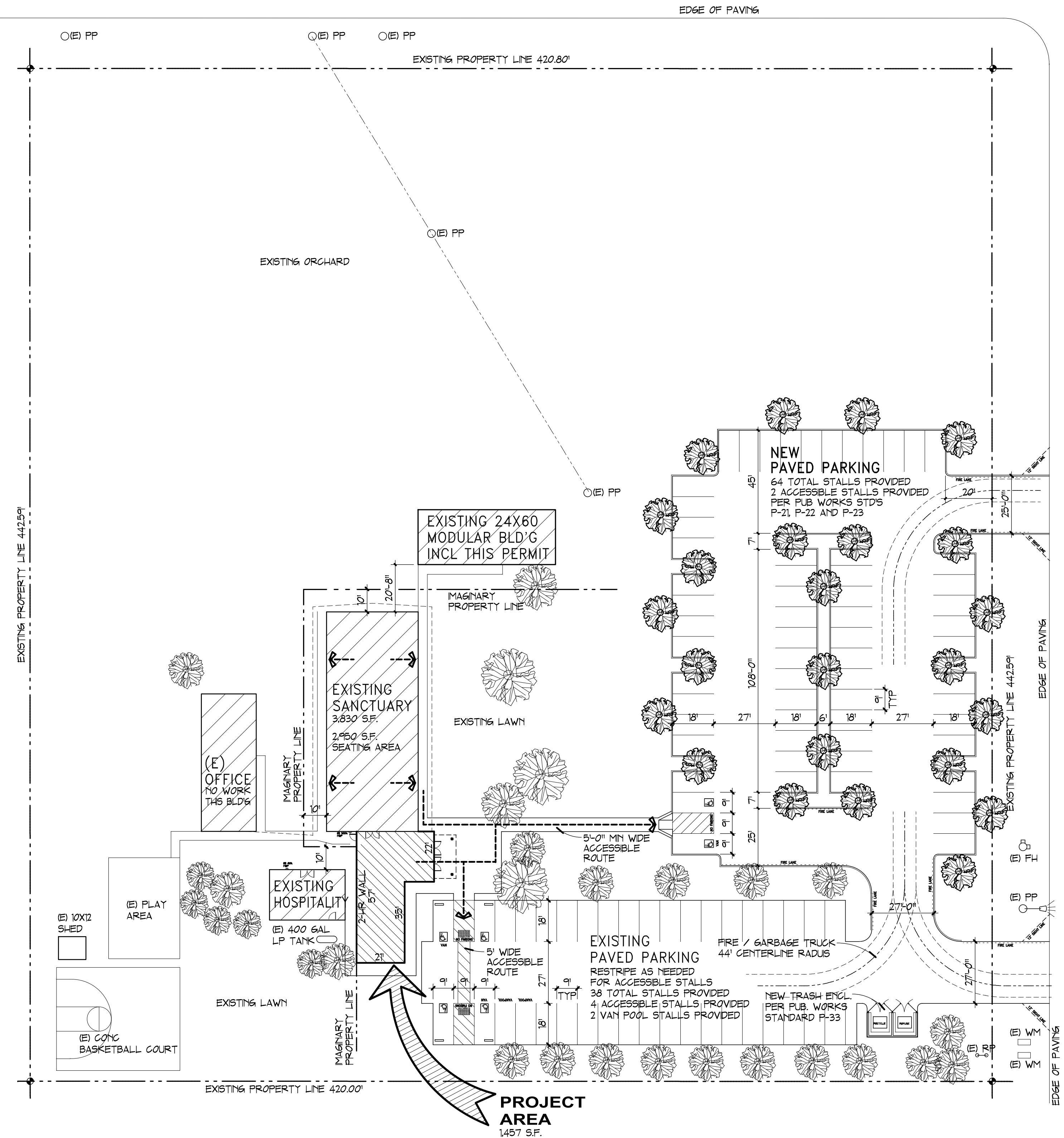
**PLANTING LEGEND:**

- EXISTING TREE EXISTING TREE TO REMAIN TRM AS REQUIRED TO MAINTAIN TREE HEALTH. VERIFY IRRIGATION SYSTEM IS OPERATIONAL AND REPAIR AS REQUIRED
- NEW TREE 15 GAL PISTACIA CHINESIS
- NUMBER OF EXISTING MATURE PARKING SHADE TREES 13
- EXISTING PISTACIA CHINESIS COVERAGE 13 TREES X 707 S.F. P/ TREE = 9,191 S.F.
- TOTAL COVERAGE 11,656 S.F.
- AREA OF PAVING 11,656 S.F.
- PERCENTAGE OF EXISTING PARKING LOT SHADED 79 PERCENT
- NUMBER OF NEW PARKING SHADE TREES 25
- NEW PISTACIA CHINESIS COVERAGE 25 TREES X 707 S.F. P/ TREE = 17,675 S.F.
- TOTAL COVERAGE 20,000 S.F.
- AREA OF NEW PAVING 20,000 S.F.
- PERCENTAGE OF NEW PARKING LOT SHADED 88 PERCENT

**PARKING & ACCESS:**

- REQUIRED PARKING**  
2,950 S.F. SANCTUARY SEATING AREA  
2540 S.F. / 140 = 74 STALLS REQD.
- PROVIDED PARKING**  
EXISTING ON-SITE PARKING: 38 PARKING STALLS (INCL 2 VAN POOL / 4 ACC STALLS)  
NEW ON-SITE PARKING: 64 PARKING STALLS (INCL 2 ACC STALLS)  
TOTAL PAVED ON-SITE PARKING STALLS: 102 PARKING STALLS (94 STD STALLS, 2 VAN POOL, 6 ACC STALLS)
- INDICATES ACCESSIBLE STALL (VAN ACCESSIBLE WHERE INDICATED)
- NEW SITE FEATURES, PEDESTRIAN ACCESS, AND BUILDINGS WILL BE ACCESSIBLE FOR DISABLED.

**E. KINGS CANYON ROAD**



**BUILDING & SITE STATS:**

EXISTING CUP - C-9789

**CULTURAL RESOURCES**  
SHOULD ANY CULTURAL RESOURCES BE DISCOVERED ON THE SITE DURING THE CONSTRUCTION OR RELATED ACTIVITIES, ALL WORK SHALL BE HALTED & THE AGENCY W/ JURISDICTION BE NOTIFIED. PROGRESS OF WORK TO BE ALLOWED ONLY UPON APPROVAL BY SAID AGENCY.

**APPLICABLE CODES**  
2016 CBC, CFC, CPC, CMC, CEC  
2016 NON-RESIDENTIAL ENERGY STDS.

**JURISDICTION AGENCY:**  
CITY OF FRESNO

**SITE STATS:**  
SITE ADDRESS: 6175 E. KINGS CANYON RD. FRESNO, CA. 93727  
ASSESSORS PARCEL NUMBER(S): 313-210-20  
ZONE DISTRICT: PI - RS-5/EQ  
PLANNED LAND USE: RESIDENTIAL MEDIUM DENSITY  
COMMUNITY PLAN AREA: ROOSEVELT

**BUILDING STATS:**  
EXISTING SANCTUARY: 3,830 S.F.  
EXISTING HOSPITALITY MODULAR BUILDING: 600 S.F.  
EXISTING OFFICE MODULAR BUILDING: 1,440 S.F.  
EXISTING SUNDAY SCHOOL MODULAR BUILDING: 1,440 S.F.  
LOBBY ADDITION: 1,457 S.F.  
CONSTRUCTION TYPE(S): V-B SPRINKLERED

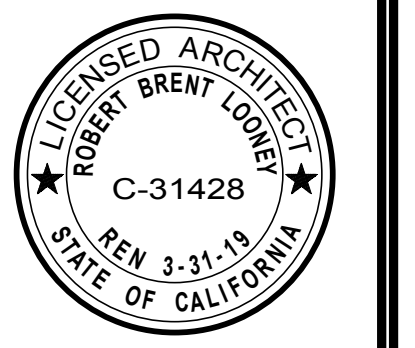
**1 SITE PLAN**

A1

SCALE: 1" = 30'-0"



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**BUILDING ADDITION AND REMODEL For:**  
**MTN. VIEW COMMUNITY CHURCH**  
INTERIOR REMODEL AND NEW LOBBY ADDITION  
6175 E. KINGS CANYON RD., FRESNO, CA. 93727

SHEET SITE PLAN  
DRAWN BY: RBL  
DATE: 1-30-2019  
JOB: 1814  
REVISIONS BY  
SHEET NO. **A2**

NOTE: THE CONTRACTOR SHALL CHECK ALL DIMENSIONS AT THE JOB AND SHALL BE RESPONSIBLE FOR ALL DISCREPANCIES BETWEEN DIMENSIONS OF THE ACTUAL WORK AND THOSE SHOWN IN THE DOCUMENTS OR ARCHITECT'S REVIEWED SHOP DRAWINGS. THE CONTRACTOR SHALL ALSO BE SOLELY RESPONSIBLE FOR ALL QUANTITIES OF MATERIAL OR EQUIPMENT CALLED FOR TO PROPERLY COMPLETE THE WORK.