

THIS PROJECT SHALL COMPLY WITH:
 2016 CALIFORNIA RESIDENTIAL BUILDING CODE
 2016 CALIFORNIA FIRE CODE
 2016 CALIFORNIA MECHANICAL CODE
 2016 CALIFORNIA ELECTRICAL CODE
 2016 CALIFORNIA PLUMBING CODE
 2016 CALIFORNIA ENERGY CODE
 2016 CALIFORNIA GREEN BUILDING CODE

SITE DATA:
 SCOPE OF WORK: (3) NEW BUILDINGS w/ 14 LIVING UNITS
 OWNER: CEN CAL BUILDERS
 PROJECT ADDRESS: 1540 B STREET FRESNO, CA 93706
 PHONE: (559) 225-6697
 LOT AREA COMBINE: 34,500 S.F.
 ZONE: RS-5/ NR
 CONSTRUCTION TYPE: V-B
 OCCUPANCY TYPE: R-2
 A.P.N. #: 465-171-(13, 14, 15 & 16)

LOT COVERAGE:
 (2) BUILDING AA- 1st FLOOR: 7,476 S.F.
 BUILDING BB- 1st FLOOR: 2,206 S.F.
 TOTAL BUILDING GROUND COVERAGE: 9,684 S.F.
 TOTAL LOT AREA: 34,500 S.F.
 9.684 / 34,500 = 28.1% LOT COVERAGE

ENGINEER
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CIVIL ENGINEER & LAND SURVEY
GATEWAY ENGINEERING, INC.
 5811 E. PRINCETON AVE, FRESNO, CA 93727
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 DESIGNER: JOSEPH D. DAGGETT, PE, PL9
 EMAIL: JOEY@GATEWAYENG.COM

TRUSS MANUFACTURER
CTF CALIFORNIA TRUSFRAME
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CITY OF FRESNO NOTES AND REQUIREMENTS FOR ENTITLEMENT APPLICATIONS

- FENCES/WALLS, LANDSCAPING, PARKING**
 1. LANDSCAPING MUST BE IN PLACE BEFORE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY. A HOLD ON OCCUPANCY SHALL BE PLACED ON THE PROPOSED DEVELOPMENT UNTIL SUCH TIME THAT LANDSCAPING HAS BEEN APPROVED AND VERIFIED FOR PROPER INSTALLATION BY THE DEVELOPMENT SERVICES DIVISION.
 2. ALL ACCESSIBLE STALLS SHALL BE MARKED WITH THE INTERNATIONAL SYMBOL OF SPACES AND A WARNING THAT VEHICLES IN VIOLATION OF SECTION 10-1017 OF THE MUNICIPAL CODE SHALL BE TOWED AWAY. THE INTERNATIONAL SYMBOL AND TOW-AWAY WARNING SHALL BE POSTED CONSPICUOUSLY ON SEVEN-FOOT POLES.
 3. ALL ACCESSIBLE PARKING STALLS SHALL BE PLACED ADJACENT TO FACILITY ACCESS RAMPS OR IN STRATEGIC AREAS WHERE THE HANDICAPPED SHALL NOT HAVE TO WHEEL OR WALK BEHIND PARKED VEHICLES WHILE TRAVELING TO OR FROM ACCESSIBLE PARKING STALLS AND RAMPS.
- SIGNAGE**
 1. SIGNS, OTHER THAN DIRECTIONAL SIGNS, IF APPLICABLE, ARE NOT APPROVED FOR INSTALLATION AS PART OF THIS SPECIAL PERMIT.
- MISCELLANEOUS**
 1. IF ARCHAEOLOGICAL AND/OR ANIMAL FOSSIL MATERIAL IS ENCOUNTERED DURING PROJECT SURVEYING, GRADING, EXCAVATING, OR CONSTRUCTION, WORK SHALL STOP IMMEDIATELY.
 2. IF THERE ARE SUSPECTED HUMAN REMAINS, THE FRESNO COUNTY CORONER SHALL BE IMMEDIATELY CONTACTED. IF THE REMAINS OR OTHER ARCHAEOLOGICAL MATERIAL IS POSSIBLY NATIVE AMERICAN IN ORIGIN, THE NATIVE AMERICAN HERITAGE COMMISSION (PHONE: (916) 653-4082) SHALL BE IMMEDIATELY CONTACTED, AND THE CALIFORNIA ARCHAEOLOGICAL INVENTORY/SOUTHERN SAN JOAQUIN VALLEY INFORMATION CENTER (PHONE: (805) 644-2289) SHALL BE CONTACTED TO OBTAIN A REFERRAL LIST OF RECOGNIZED ARCHAEOLOGISTS. AN ARCHEOLOGICAL ASSESSMENT SHALL BE CONDUCTED FOR THE PROJECT, THE SITE SHALL BE FORMALLY RECORDED, AND RECOMMENDATIONS MADE TO THE CITY AS TO ANY FURTHER SITE INVESTIGATION OR SITE AVOIDANCE/PRESERVATION.
 3. IF ANIMAL FOSSILS ARE UNCOVERED, THE MUSEUM OF PALEONTOLOGY, U.C. BERKELEY SHALL BE CONTACTED TO OBTAIN A REFERRAL LIST OF RECOGNIZED PALEONTOLOGISTS. AN ASSESSMENT SHALL BE CONDUCTED BY A PALEONTOLOGIST AND, IF THE PALEONTOLOGIST DETERMINES THE MATERIAL TO BE SIGNIFICANT, IT SHALL BE PRESERVED.
 3. OUTDOOR STORAGE OF MATERIALS, INCLUDING ISO CONTAINERS, IS PROHIBITED. ALL MATERIALS SHALL BE STORED WITHIN A COMPLETELY ENCLOSED BUILDING, UNLESS APPROVED BY THE DEVELOPMENT AND RESOURCE MANAGEMENT DEPARTMENT.

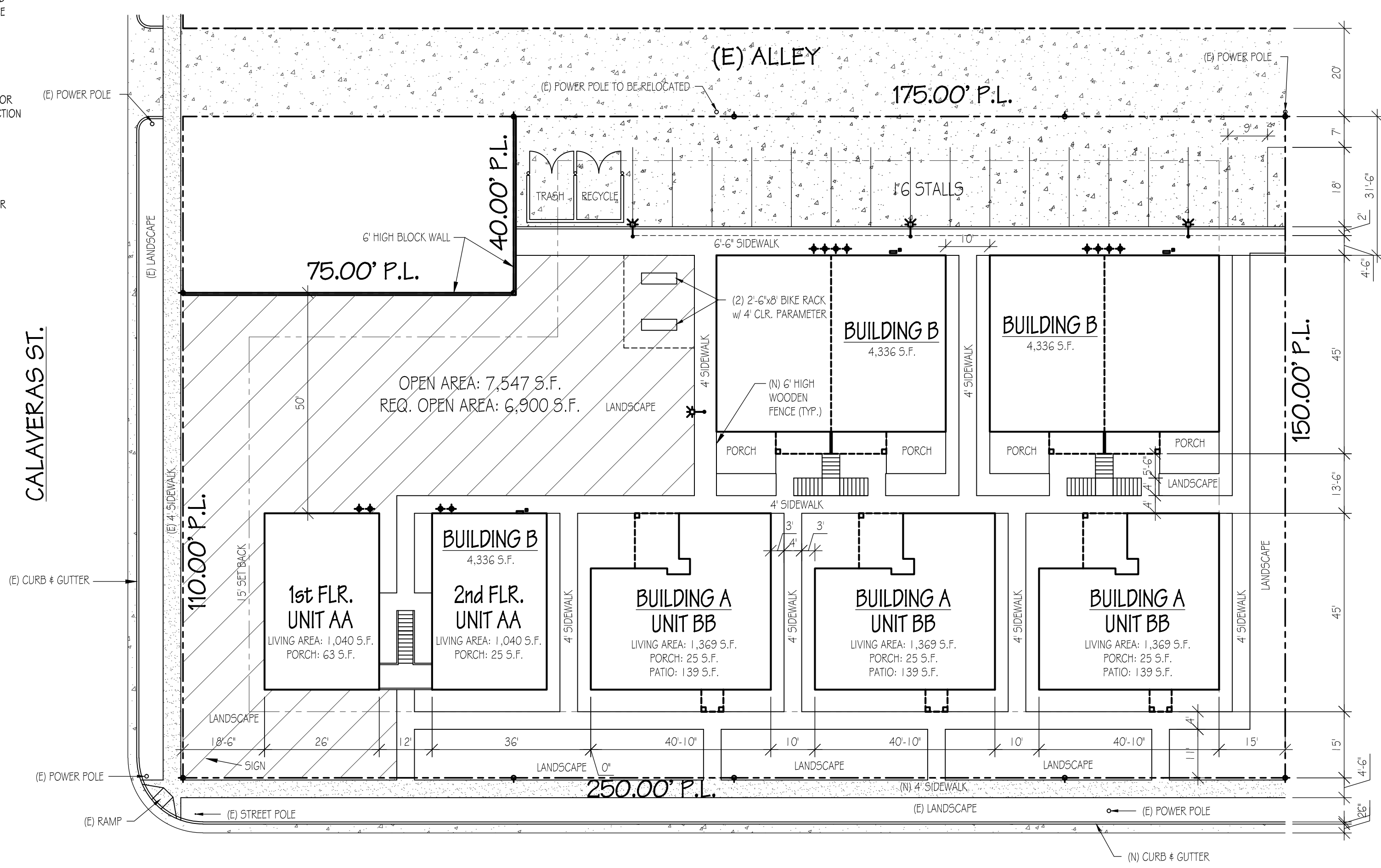
SITE NOTE:

- FINISH FLOOR LEVEL TO BE 6" ABOVE NATURAL GRADE.
- LOT SHALL BE GRADED TO DRAIN WATER AWAY FROM ALL FOUNDATIONS AT A SLOPE OF 5% WITHIN 10 FEET OF THE BUILDING.
 - NO ON-SITE WATER RETENTION.
 - NO DRAINAGE TO ADJACENT PROPERTY.
 - GRADE DIFFERENTIALS GREATER THAN 12" SHALL BE SUPPORTED BY AN APPROVED RETAINING WALL.
- IMPERVIOUS SURFACES WITHIN 10' OF THE BUILDING FOUNDATION SHALL SLOPE A MINIMUM OF 2% AWAY FROM BUILDING.
- MAX. SILL HEIGHT OF 44" ABOVE THE FIN. FLOOR FOR ALL WINDOWS USED FOR EMERGENCY EXITS TO THE BOTTOM OF THE WINDOW OPENING.
- ALL SITE GRADING OUTSIDE OF THE BUILDING ENVELOPE IS REQUIRED TO BE A MINIMUM OF 0.5% DIRECTED TOWARDS THE STREET.
- A CHEMICAL TOILET IS REQUIRED ON-SITE DURING CONSTRUCTION.
- OBTAIN FIRE SPRINKLER FINAL INSPECTION APPROVAL PRIOR TO BUILDING FINAL.
- SITE MUST BE PROPERLY ADDRESSED SO EMERGENCY VEHICLES CAN LOCATE STRUCTURE.
- ALL ROOF MATERIALS MUST BE FIRE RETARDANT.
- ALL CONSTRUCTION WASTE PRODUCTS WITHIN 30 FOOT OF THE STRUCTURE SHALL BE REMOVED.
- ALL CONSTRUCTION SITES TO BE CLEARED OF COMBUSTIBLES.
- INSTALL STREET ADDRESS NUMERALS, AT LEAST 4" HIGH w/ MIN. 1/2" STROKE, MOUNTED ON A CONTRASTING BACKGROUND CLEARLY VISIBLE FROM THE STREET.
- ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A PERSON LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF CALIFORNIA.
- 2 WORKING DAYS BEFORE COMMENCING EXCAVATION OPERATIONS WITHIN THE STREET RIGHT-OF-WAY AND/OR UTILITY EASEMENTS, ALL EXISTING UNDERGROUND FACILITIES SHALL HAVE BEEN LOCATED BY UNDERGROUND SERVICES ALERT (USA). CALL 1-800-642-2444
- REPAIR ALL DAMAGED AND/OR OFF-GRADE CONCRETE STREET IMPROVEMENTS AS DETERMINED BY THE CONSTRUCTION MANAGEMENT ENGINEER PRIOR TO OCCUPANCY.
- FIRE SPRINKLER SYSTEM TO BE INSTALLED SHALL BE MULTI-PURPOSE.
- NO WATER SERVICE IN DRIVEWAY.
- ANY UTILITIES REQUIRING RELOCATED SHALL BE THE RESPONSIBILITY AND AT THE EXPENSE OF THE DEVELOPER. FIRE HYDRANTS WILL BE RELOCATED BY CITY FORCES. DEVELOPER IS RESPONSIBLE TO NOTIFY CITY WATER DIVISION AT 621-5300 TO ARRANGE AND COORDINATE WORK.
- CHANGES FROM THE APPROVED PLANS DURING THE COURSE OF CONSTRUCTION SHALL CAUSE CONSTRUCTION TO BE SUSPENDED UNTIL SUCH TIME AS THE PLANS CAN BE AMENDED BY THE DESIGNER AND SUBMITTED TO THE COUNTY FOR REVIEW AND APPROVAL.

- AFTER INSTALLING WALLS, CEILING, OR FLOOR INSULATION, THE INSTALLER SHALL MAKE AVAILABLE TO THE ENFORCEMENT AGENCY OR POST IN A CONSPICUOUS LOCATION IN THE BUILDING A CERTIFICATE SIGNED BY THE INSTALLER STATING THE INSTALLATION IS CONSISTENT WITH THE PLANS AND SPECIFICATIONS. THE CERTIFICATE SHALL ALSO STATE THE MANUFACTURER'S NAME AND MATERIAL IDENTIFICATION, THE INSTALLED R-VALUE, AND (IN APPLICATIONS OF LOOSE FILL INSULATION) THE MINIMUM INSTALLED WEIGHT PER SQUARE FOOT CONSISTENT WITH THE MANUFACTURER'S LABELED DESIGN DENSITY FOR THE DESIRED R-VALUE.
- THE INSULATION SHALL CONFORM TO THE FLAME SPREAD RATING AND SMOKE DENSITY REQUIREMENTS OF CBC 707.3.
- JOINTS AND OTHER OPENINGS IN THE BUILDING ENVELOPE THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE SHALL BE CAULKED, EQUIPPED WITH GASKETS, WEATHERSTRIPPED, OR OTHERWISE SEALED TO LIMIT INTERNAL OR EXTERNAL AIR FILTRATION.
- EVERY MANUFACTURED AND SITE-BUILT FENESTRATION PRODUCT OR FENESTRATION SYSTEM INSTALLED IN CONSTRUCTION SUBJECT TO TITLE 24, PART 6 SHALL HAVE ATTACHED TO IT A CLEARLY VISIBLE TEMPORARY LABEL OR HAVE AN ASSOCIATED LABEL CERTIFICATE THAT LISTS THE U-FACTOR, THE SOLAR HEAT GAIN COEFFICIENT (SHGC) OF THAT PRODUCT AND THE METHOD USED TO DERIVE THOSE VALUES, AND CERTIFIES COMPLIANCE WITH AIR LEAKAGE REQUIREMENTS OF THE CALIFORNIA ENERGY CODE, SECTION 116(A) 1. THE LABEL SHALL NOT BE REMOVED UNTIL APPROVED BY THE BUILDING INSPECTOR.

FIRE NOTE

- SUBMIT PLANS TO AND OBTAIN PERMIT FROM THE FIRE PREVENTION DIVISION FOR THE INSTALLATION OR MODIFICATION OF FIRE SPRINKLER SYSTEM. INSTALLATION MUST ALSO COMPLY WITH F.F.D. POLICY SECTION 405, F.F.D. POLICES CAN BE FOUND ON THE FIRE DEPARTMENT WEB PAGE UNDER COMMUNITY AND PROFESSIONAL SERVICES, FIRE DEPARTMENT DEVELOPMENT POLICES.
- OBTAIN FIRE SPRINKLER FINAL INSPECTION APPROVAL PRIOR TO BUILDING FINAL.
- CHANGES FROM THE APPROVED PLANS DURING THE COURSE OF CONSTRUCTION SHALL CAUSE CONSTRUCTION TO BE SUSPENDED UNTIL SUCH TIME AS THE PLANS CAN BE AMENDED BY THE DESIGNER AND SUBMITTED TO THE COUNTY FOR REVIEW AND APPROVAL.



Sheet Name	SHEET DESCRIPTION
1	1 SITE PLAN
2	2 LANDSCAPE PLAN
3	3 SITE ELECTRICAL & PLUMBING PLAN
4	4A- ELEVATIONS
5	5A- 1st FLOOR PLAN
6	6A- 2nd FLOOR PLAN
7	7A- FOUNDATION PLAN
8	A- 1st FLOOR SHEARWALL PLAN
9	A- 2nd FLOOR SHEARWALL PLAN
10	A- FLOOR FRAMING PLAN
11	A- ROOF PLAN
12	A- SECTIONS
13	A- TITLE 24
14	B- ELEVATIONS
15	B- FLOOR PLANS
16	B- FOUNDATION & FLOOR FRAMING
17	B- SHEARWALL PLAN
18	B- ROOF PLAN & SECTIONS
19	B- TITLE 24
20	UNITS- ELECTRICAL PLAN
21	UNITS- MECHANICAL PLAN
22	UNITS- PLUMBING PLAN
23	CAL. GREEN BUILDING CODE
24	NAILING SCHEDULE
25	TJI DETAILS
26	FOUNDATION & ROOF DETAILS

SITE PLAN

CONSTRUCTION COMPANY:
CEN CAL BUILDERS
 3497 E. INTERNATIONAL
 CLOVIS, CA 93619
 Phone (559) 225-6697 LIC. #864492

OWNER INFORMATION:
TOMMY PHELEN
 15040 B STREET FRESNO, CA 93706
 (559) 225-6697

DESIGNER:
TERRA BELLA
 Residential Design Agency
 802 W. Pinedale Suite #101 Fresno, CA. 93711
 Email: terrabelladesign@gmail.com
 Phone (559) 241-0825 Fax (559) 322-2077

DATE: 01-30-2019
 SCALE: 1/4" = 1'-0"
 JOB NO.: 17-1002
 SHEET: 1 OF 26 SHEETS



1540 B STREET

CEN CAL BUILDERS - 14 UNIT LIVING COMPLEXES ON 'B' STREET