

**LEGAL DESCRIPTION:**

APN# 449-130-42  
THE REAL PROPERTY SITUATED IN THE CITY OF FRESNO, COUNTY OF FRESNO, STATE OF CALIFORNIA, FRESNO IRRIGATION DISTRICT AND IS DESCRIBED AS FOLLOWS:  
PARCEL A: THAT PORTION OF LOTS 77 AND 78 OF ROEDING'S VILLA COLONY, ACCORDING TO THE MAP THEREOF RECORDED IN BOOK 2 PAGE 13 OF RECORD OF SURVEYS, FRESNO COUNTY RECORDS, DESCRIBED AS FOLLOWS:  
COMMENCING AT A POINT ON THE SOUTH LINE OF SAID LOT 77 NORTH 89°59'30" WEST 490.00 FEET FROM THE SOUTHEAST CORNER OF SAID LOT 77; THENCE NORTH 00°06'30" EAST 558.26 FEET; THENCE SOUTH 69°00'40" WEST 175.53 FEET TO A POINT ON THE WEST LINE OF SAID LOT 77 SOUTH 00°13'30" WEST 790.96 FEET FROM THE NORTHWEST CORNER OF SAID LOT 77; THENCE SOUTH 89°59'00" WEST 30.04 FEET; THENCE SOUTH 00°12'00" WEST TO A POINT ON THE SOUTH LINE OF SAID LOT 78; THENCE SOUTH 89°59'30" EAST 195.47 FEET TO THE POINT OF COMMENCEMENT.  
EXCEPTING THEREFROM THE SOUTH 20.00 FEET THEREOF.  
PARCEL B: THAT PORTION OF LOT 77 OF ROEDING'S VILLA COLONY, FRESNO COUNTY RECORDS, DESCRIBED AS FOLLOWS:  
COMMENCING AT THE SOUTHEAST CORNER OF SAID LOT 77; THENCE NORTH 89°59'30" WEST 490.00 FEET; THENCE NORTH 00°06'30" EAST, 558.26 FEET; THENCE NORTH 72°02'00" EAST 171.36 FEET; THENCE NORTH 00°10'00" EAST 18.00 FEET; THENCE SOUTH 89°58'45" EAST 327.14 FEET; THENCE 00°06'30" WEST 628.93 FEET TO THE POINT OF COMMENCEMENT.  
EXCEPTING THEREFROM THAT PORTION OF SAID LOT 77 DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHEAST CORNER OF SAID LOT 77; THENCE SOUTH 89°50'00" WEST ALONG THE SOUTH BOUNDARY OF SAID LOT 77 A DISTANCE OF 490.00 FEET; THENCE NORTH 00°04'00" WEST 20.00 FEET; THENCE NORTH 89°50'00" EAST PARALLEL WITH THE SOUTH BOUNDARY OF SAID LOT 77 A DISTANCE OF 232.80 FEET; THENCE SOUTH 89°56'36" EAST 157.28 FEET TO A POINT ON THE EAST BOUNDARY OF SAID LOT 77; THENCE SOUTH 00°04'00" EAST ALONG SAID EAST BOUNDARY 13.01 FEET TO THE POINT OF BEGINNING.  
ALSO EXCEPTING THE EASTERLY 202.72 FEET OF SAID LAND.

APN# 499-130-30  
THE LAND REFERRED TO HEREIN IS SITUATED IN THE STATE OF CALIFORNIA, COUNTY OF FRESNO, CITY OF FRESNO AND DESCRIBED AS FOLLOWS:  
THAT PORTION OF LOT 77 OF ROEDING'S VILLA COLONY, CITY OF FRESNO, COUNTY OF FRESNO, STATE OF CALIFORNIA, ACCORDING TO THE MAP THEREOF RECORDED IN BOOK 2, PAGE 43 OF RECORD OF SURVEYS, FRESNO COUNTY RECORDS, DESCRIBED AS FOLLOWS:  
BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 77; THENCE SOUTH 89°58' EAST A DISTANCE OF 326.55 FEET ALONG THE NORTH LINE OF SAID LOT TO A POINT, BEING NORTH 89°58' WEST A DISTANCE OF 326.55 FEET FROM THE NORTHEAST CORNER OF SAID LOT 77; THENCE SOUTH 00°10' WEST A DISTANCE OF 677.03 FEET; THENCE SOUTH 72°02' WEST A DISTANCE OF 171.36 FEET; THENCE SOUTH 69°40' 3/4 WEST A DISTANCE OF 175.53 FEET TO THE WEST LINE OF SAID LOT 77; THENCE NORTH 00°13' 1/4 EAST A DISTANCE OF 790.96 FEET ALONG THE WEST LINE OF SAID LOT 77 TO THE POINT OF BEGINNING.  
EXCEPTING THEREFROM THE NORTH 30.00 FEET THEREOF.  
ALSO EXCEPTING THEREFROM BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 77; THENCE SOUTH 89°58' EAST A DISTANCE OF 326.55 FEET ALONG THE NORTH LINE OF SAID LOT TO A POINT WHICH POINT IS NORTH 89°58' WEST A DISTANCE OF 326.55 FEET FROM THE NORTHEAST CORNER OF SAID LOT 77; SAID POINT BEING THE TRUE POINT OF BEGINNING OF THE HEREIN DESCRIBED PROPERTY; THENCE SOUTH 00°10' WEST A DISTANCE OF 193.00 FEET; THENCE NORTH 89°58' WEST PARALLEL WITH THE NORTH LINE OF SAID LOT 77 A DISTANCE OF 163.00 FEET; THENCE NORTH 00°10' EAST A DISTANCE OF 193.00 FEET TO THE NORTH LINE OF SAID LOT 77; THENCE SOUTH 89°58' EAST ALONG THE NORTH LINE OF SAID LOT 77 TO THE POINT OF BEGINNING.

**GENERAL NOTES:**

- NO USES OF LAND, BUILDINGS OR STRUCTURES OTHER THAN THOSE SPECIFICALLY APPROVED PURSUANT TO THIS SITE PLAN SHALL BE PERMITTED.
- LANDSCAPING MUST BE IN PLACE BEFORE ISSUANCE OF CERTIFICATE OF OCCUPANCY. A HOLD ON OCCUPANCY SHALL BE PLACED ON THE PROPOSED DEVELOPMENT UNTIL SUCH TIME THAT LANDSCAPING HAS BEEN APPROVED AND VERIFIED FOR PROPER INSTALLATION BY THE DEVELOPMENT SERVICES DIVISION.
- PRIOR TO FINAL INSPECTION, A WRITTEN CERTIFICATION, SIGNED BY A LANDSCAPE PROFESSIONAL APPROVED BY THE DIRECTOR, SHALL BE SUBMITTED STATING THAT THE REQUIRED LANDSCAPING AND IRRIGATION SYSTEM HAS BEEN INSTALLED IN ACCORDANCE WITH THE LANDSCAPING AND IRRIGATION PLANS APPROVED BY THE PLANNING DIVISION, DEVELOPMENT DEPARTMENT.
- ALL ACCESSIBLE STALLS SHALL BE MARKED WITH THE INTERNATIONAL SYMBOL OF SPACES AND WARNING THAT VEHICLES IN VIOLATION OF SECTION 10-1017 OF THE MUNICIPAL CODE SHALL BE TOWED AWAY. THE INTERNATIONAL SYMBOL AND TOW-AWAY WARNING SHALL BE POSTED CONSPICUOUSLY ON SEVEN-FOOT POLES.
- ALL HANDICAPPED PARKING STALLS SHALL BE PLACED ADJACENT TO FACILITY ACCESS STOPS OR IN STRATEGIC AREAS WHERE THE HANDICAPPED SHALL NOT HAVE TO WHEEL OR WALK BEHIND PARKED VEHICLES WHILE TRAVELING TO OR FROM HANDICAPPED PARKING STALLS AND RAMPS.
- WHERE LIGHTING IS PROVIDED TO ILLUMINATE PARKING, BUILDING ENTRANCES, AISLES, STORAGE, CARETAKER RESIDENCE, OFFICE, AND/OR TRUCK/TRAILER RENTAL AREAS, IT SHALL BE DOWN-DIRECTED, HOODED/SHIELDED AND SO ARRANGED AND CONTROLLED SO AS NOT TO CAUSE A NUISANCE EITHER TO STREET TRAFFIC OR TO THE LIVING ENVIRONMENT. THE AMOUNT OF LIGHT REQUIRED FOR PUBLIC PARKING AND TRUCK/TRAILER RENTAL AREAS SHALL BE PROVIDED ACCORDING TO THE STANDARDS OF THE DEPARTMENT OF PUBLIC WORKS.
- SIGNS, OTHER THAN DIRECTIONAL SIGNS, IF APPLICABLE, ARE NOT APPROVED FOR INSTALLATION AS PART OF THIS SPECIAL PERMIT. A SEPARATE APPLICATION FOR SIGN REVIEW IS REQUIRED.
- WINDOW SIGNS ARE LIMITED TO 4 SQUARE FEET IN AREA, PROVIDING INFORMATION ABOUT HOURS OF OPERATION AND EMERGENCY, SALE OR RENTAL INFORMATION ONLY. EXTERIOR SIGNAGE SUCH AS BANNERS, FLAGS AND PENNANTS ARE PROHIBITED. HOWEVER, SPECIAL EVENT BANNER SIGNS ANNOUNCING GRAND OPENINGS, NEW MANAGEMENT ETC., ARE PERMITTED FOR 30 DAYS IF APPROVED BY THE DEVELOPMENT DIRECTOR, ATTACHED TO THE BUILDING AND DO NOT EXCEED 32 SQUARE FEET IN AREA.
- ALL CONSTRUCTION WORK ON THIS PROJECT IS SUBJECT TO INTERRUPTION IF THE ROAD SYSTEM BECOMES IMPASSABLE FOR FIRE APPARATUS DUE TO RAIN OR OTHER OBSTACLES.
- OPEN CUT IS NOT PERMITTED. ALL UTILITY CONNECTIONS MUST BE BORED.
- ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A PERSON LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF CALIFORNIA.
- REPAIR ALL DAMAGED AND/OR OFF-GRADE CONCRETE STREET IMPROVEMENTS AS DETERMINED BY THE CONSTRUCTION MANAGEMENT ENGINEER PRIOR TO OCCUPANCY.
- (2) WORKING DAYS BEFORE COMMENCING EXCAVATION OPERATIONS WITHIN THE STREET RIGHT-OF-WAY AND/OR UTILITY EASEMENTS ALL EXISTING UNDERGROUND FACILITIES SHALL HAVE BEEN LOCATED BY UNDERGROUND SERVICES ALERT (USA). CALL 1-800-642-2444
- TWO MEANS OF INGRESS/EGRESS MUST BE MAINTAINED DURING ALL PHASES OF DEVELOPMENT.
- FIRE HYDRANTS SHALL BE TESTED, PAINTED, NUMBERED AND APPROVED AND ALL SURFACE ACCESS ROADS SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION.
- THE ENTRANCE TO ALL EMERGENCY ACCESSES SHALL BE POSTED WITH PERMANENT SIGNS THAT SHALL READ: "FIRE ACCESS (6" LETTERS) VEHICLES REMOVED AT OWNER'S EXPENSE (2" LETTERS) FRESNO POLICE DEPARTMENT 621-2000 (1" LETTERS)" - POST ON BOTH SIDES. PROVIDE APPROVED POLICE/FIRE BYPASS LOCK ("BEST" MODEL 218700 SERIES OR ELECTRIC CYLINDER SWITCH MODEL 1W782) ON DRIVE ACCESS GATE(S).
- PROVIDE PORTABLE FIRE EXTINGUISHERS PER NFPA 10, 2-A-110-B-C RATED MINIMUM. ONE HYDRANT FOR EVERY 3,000 S.F. OR PORTION THEREOF OF FLOOR SPACE AND TRAVEL DISTANCE NOT TO EXCEED 75 FT.
- PLANS MUST BE REVIEWED AND APPROVED BY PG&E PRIOR TO ISSUANCE OF BUILDING PERMITS.
- NO STRUCTURES MAY BE INSTALLED OR MAINTAINED WITHIN THE ABOVE-NOTED REQUIRED LANDSCAPED SETBACK AREAS, EXCEPTING LANDSCAPE IRRIGATION EQUIPMENT, DECORATIVE FOUNTAIN(S) AND REQUIRED FENCES AND WALLS.
- TREES SHALL BE MAINTAINED IN GOOD HEALTH. TREES MAY NOT BE TRIMMED OR PRUNED TO REDUCE THE NATURAL HEIGHT OR OVERALL CROWN OF THE TREE, EXCEPT AS NECESSARY FOR THE HEALTH OF THE TREE AND PUBLIC SAFETY; OR AS MAY OTHERWISE BE APPROVED BY THE PLANNING AND DEVELOPMENT DEPARTMENT.
- ROOF-MOUNTED AND DETACHED MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW AND ACOUSTICALLY BAFLED TO PREVENT THE NOISE LEVEL RATING FOR THE EQUIPMENT FROM EXCEEDING 60 Ldn MEASURED AT THE NEAREST PROPERTY LINE.
- CONTACT PUBLIC WORKS DEPARTMENT, TRAFFIC ENGINEERING 0621-8800, 10 WORKING DAYS PRIOR TO ANY OFF-SITE CONCRETE CONSTRUCTION.
- UNDERGROUND ALL EXISTING OVERHEAD UTILITIES WITHIN THE LIMITS OF THIS SITE/MAP AS PER FMC SECTION 12-1011 AND RES. NO. 78-522 7 88-229.
- DEED(S) OF EASEMENT(S) FOR THE REQUIRED DEDICATION(S) SHALL BE PREPARED BY THE OWNER/DEVELOPER'S ENGINEER AND SUBMITTED TO THE CITY WITH VERIFICATION OF OWNERSHIP PRIOR TO THE ISSUANCE OF BUILDING PERMITS.
- ALL EXISTING DRIVEWAY APPROACHES WHICH NO LONGER PROVIDE ACCESS TO APPROVED VEHICLE PARKING AREAS SHALL BE REMOVED UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER. SUCH AREAS SHALL BE RECONSTRUCTED WITH CURB, GUTTER AND SIDEWALK TO MATCH THE EXISTING ADJACENT STREET IMPROVEMENTS. THIS WORK SHALL BE COMPLETED AND ACCEPTED BEFORE A PERMIT OF OCCUPANCY IS ISSUED OR THE BUILDING IS OCCUPIED. AUTHORITY FMC 11-209.
- TREES IN LANDSCAPE STRIPS THAT ARE BEING PLANTED WITHIN FOUR FEET OF SIDEWALKS SHALL BE FURNISHED WITH ROOT BARRIERS TO PROTECT THE CONCRETE FROM DAMAGE.
- PROVIDE APPROVED POLICE/FIRE BYPASS LOCK ("BEST" PADLOCK MODEL 218700 SERIES OR ELECTRIC CYLINDER SWITCH MODEL 1W782) ON DRIVE ACCESS GATE(S) ON BOTH ENTRY AND EXIT IF PROPOSING A KEYPAD ON BOTH SIDES AS INDICATED ON PLANS. FIRE MUST BE ABLE TO ENTER AND EXIT WITHOUT USING A KEYPAD.
- APPLICANTS ARE ENCOURAGED TO PROVIDE SHARED VEHICLE AND PEDESTRIAN ACCESS BETWEEN ADJACENT PROPERTIES FOR CONVENIENCE, SAFETY, AND EFFICIENT CIRCULATION. A JOINT ACCESS COVENANT SHALL BE REQUIRED.
- IF ARCHAEOLOGICAL AND/OR ANIMAL FOSSIL MATERIAL IS ENCOUNTERED DURING PROJECT SURVEYING, GRADING, EXCAVATING, OR CONSTRUCTION, WORK SHALL STOP IMMEDIATELY.
- IF THERE ARE SUSPECTED HUMAN REMAINS, THE FRESNO COUNTY CORNER SHALL BE IMMEDIATELY CONTACTED. IF THE REMAINS OR OTHER ARCHAEOLOGICAL MATERIAL IS POSIBLY NATIVE AMERICAN IN ORIGIN, THE NATIVE AMERICAN HERITAGE COMMISSION (PHONE: (916)553-4282) SHALL BE IMMEDIATELY CONTACTED, AND THE CALIFORNIA ARCHAEOLOGICAL INVENTORY/SOUTHERN SAN JOAQUIN VALLEY INFORMATION CENTER (PHONE: (805)844-2288) SHALL BE CONTACTED TO OBTAIN A REFERRAL LIST OF RECOGNIZED ARCHAEOLOGISTS. AN ARCHAEOLOGICAL ASSESSMENT SHALL BE CONDUCTED FOR THIS PROJECT, THE SITE SHALL BE FORMALLY RECORDED, AND RECOMMENDATIONS MADE TO THE CITY AS TO ANY FURTHER SITE INVESTIGATION OR SITE AVOIDANCE/PRESERVATION.
- IF ANIMAL FOSSILS ARE UNCOVERED, THE MUSEUM OF PALEONTOLOGY, U.C. BERKELEY SHALL BE CONTACTED TO OBTAIN A REFERRAL LIST OF RECOGNIZED PALEONTOLOGISTS. AN ASSESSMENT SHALL BE CONDUCTED BY A PALEONTOLOGIST AND, IF THE PALEONTOLOGIST DETERMINES THE MATERIAL TO BE SIGNIFICANT, IT SHALL BE PRESERVED.

**KEYED NOTES:**

- PROPOSED 3" DIA. STEEL GUARD POST - SEE DETAIL SHEET D-2.
- PROPOSED BUILDING HEIGHT (±8"-4") WALL BETWEEN BUILDINGS ALONG PERIMETER (TYPICAL).
- PROPOSED ACCESSIBLE PARKING W/ SIGNAGE - SEE SHEET D-2.
- DIRECTIONAL ARROWS (ARROWS INSIDE FACILITY TO REPRESENT FLOW OF TRAFFIC, FOR PLANNING PURPOSES ONLY).
- PROVIDE 6" HIGH WHEELSTOP.
- INSTALL "DO NOT ENTER" SIGN.
- 12' VISIBILITY TRIANGLE TO BE CLEAR OF ANY OBSTRUCTIONS BETWEEN 5'-8" TALL AT INGRESS/EGRESS.
- INSTALL SIGN THAT READS "FIRE LANE" IN 6" LETTERS, "VEHICLES REMOVED AT OWNER'S EXPENSE" IN 2" LETTERS "FRESNO POLICE DEPT @ (559)621-7000" IN 1" LETTERS.
- CONSTRUCT FIRE ACCESS PER CITY OF FRESNO P-67.

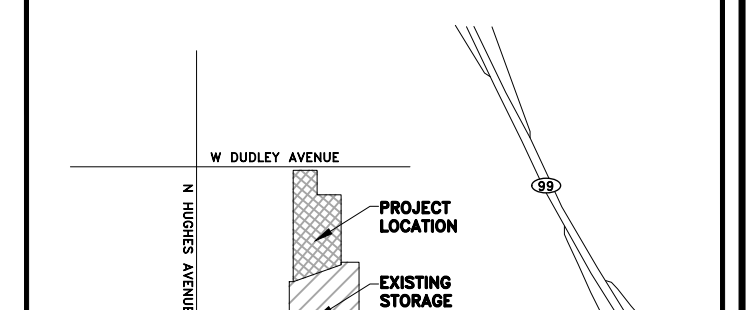
**LEGEND:**

- PROPOSED FIRE HYDRANT
- PROPOSED 150 WATT HIGH PRESSURE SODIUM LIGHT AT 7'-6"
- PROPOSED 2A I0BC FIRE EXTINGUISHER IN CABINET AS REQUIRED
- 3/8" CONCRETE DRIVES O/6" COMPACT NATIVE SOIL
- 4/8" CONCRETE DRIVES O/6" COMPACT NATIVE SOIL
- PROPOSED MINI STORAGE BUILDING CONSTRUCTION - 105,225 S.F.
- EXISTING BUILDING CONSTRUCTION - 102,072 S.F.
- PROPOSED ONE-HOUR FIRE WALL
- PROPOSED TWO-HOUR FIRE WALL
- EXISTING CHAIN LINK FENCE

**ALLOWABLE SQUARE FOOTAGE**

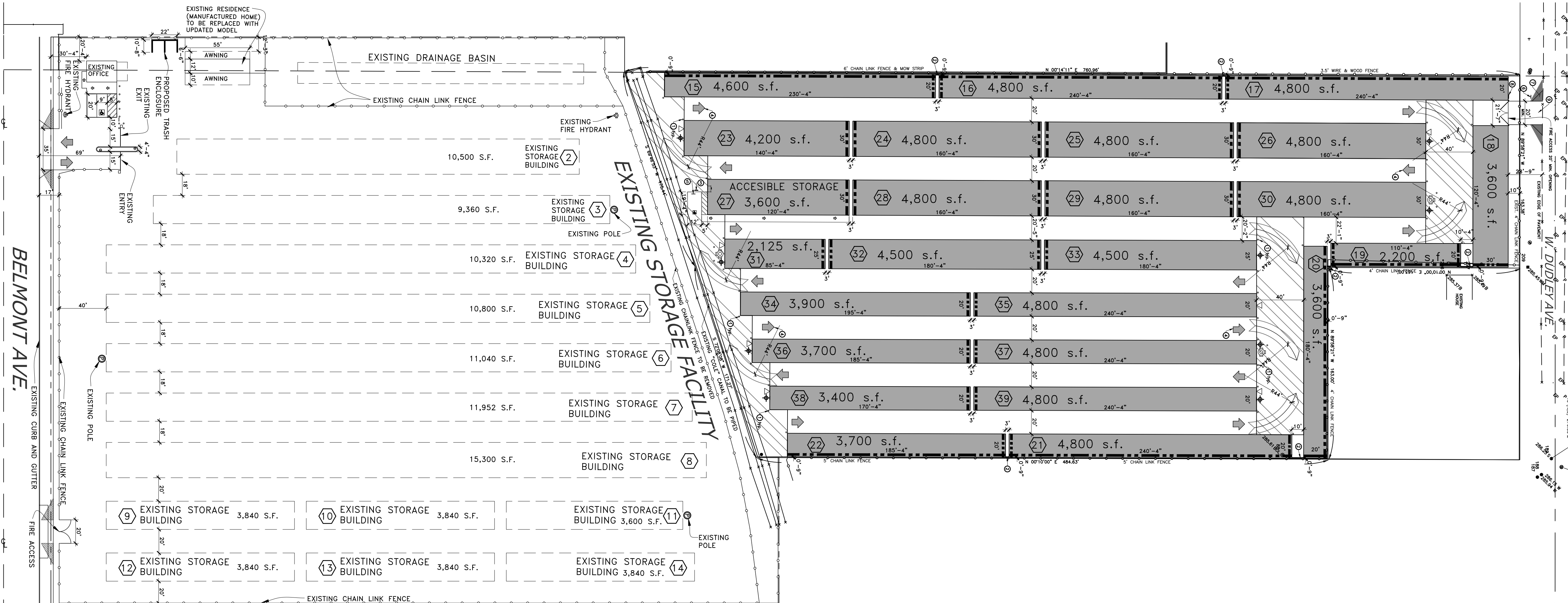
STORAGE BUILDINGS	5,000 SF x 1 x 1 x 1=8,000 MAX SF
OFFICE	5,000 SF x 1 x 1 x 1.15=5,750 SF MAX
RESIDENCE	UNLIMITED 1,485 SF/UNLIMITED
OCCUPANCY	STORAGE BUILDINGS S-1
	OFFICE B
	RESIDENCE V-8
TYPE OF CONSTRUCTION	RESIDENCE/OFFICE V-8
	STORAGE BUILDINGS V-8

**VICINITY MAP**

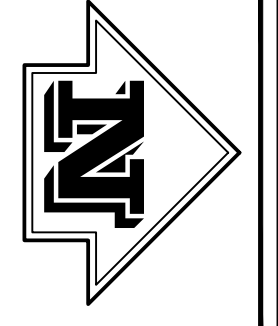


**SITE DATA**

<b>PROPERTY OWNER</b> DERRRELS MINI STORAGE L.P. 3265 W. ASHLAN AVE. FRESNO, CA 93722 (559) 224-9900	<b>BUILDING SQUARE FOOTAGE</b> CONSTRUCTION PHASES EXISTING STORAGE.....102,072 S.F. PROPOSED EXPANSION.....105,225 S.F. TOTAL STORAGE.....207,297 S.F.
<b>A.P.N.</b> 449-130-30 EXISTING FACILITY 449-130-42	<b>LAND ACREAGE</b> STORAGE (GROSS) 810.7 AC.



**SITE PLAN**



**REVISIONS:**

March 28, 2019

**DERRRELS Mini STORAGE**  
 3265 W ASHLAN AVE FRESNO CA 93722 (559) 224-9900

**APPROVALS**

C:\My Docs\CADfiles\Projects 6_Belmont\Expansion\6-A1.dwg
Date: August 15, 2018
Scale: 1" = 50'-0"
Drawn By: J. L.
Project: Site Plan Fresno Belmont Expansion
Sheet: <b>A-1</b>

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MATCH LINE SEE SHEET A-1.2

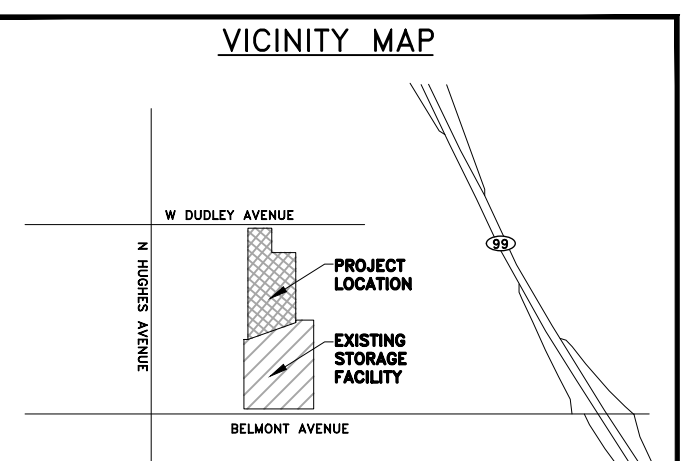
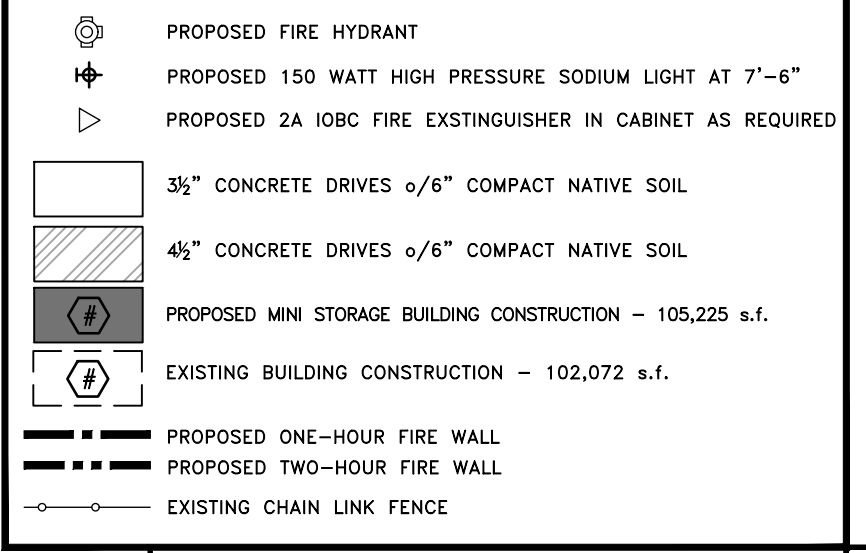
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- PLANS MUST BE REVIEWED AND APPROVED BY PG&E PRIOR TO ISSUANCE OF BUILDING PERMITS.
- NO STRUCTURES MAY BE INSTALLED OR MAINTAINED WITHIN THE ABOVE-NOTED REQUIRED LANDSCAPED SETBACK AREAS, EXCEPTING LANDSCAPE IRRIGATION EQUIPMENT, DECORATIVE FOUNTAIN(S) AND REQUIRED FENCES AND WALLS.
- TREES SHALL BE MAINTAINED IN GOOD HEALTH. TREES MAY NOT BE TRIMMED OR PRUNED TO REDUCE THE NATURAL HEIGHT OR OVERALL CROWN OF THE TREE, EXCEPT AS NECESSARY FOR THE HEALTH OF THE TREE AND PUBLIC SAFETY; OR AS MAY OTHERWISE BE APPROVED BY THE PLANNING AND DEVELOPMENT DEPARTMENT.
- ROOF-MOUNTED AND OUTSTANDING MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW AND ACOUSTICALLY BAFFLED TO PREVENT THE NOISE LEVEL RATING FOR THE EQUIPMENT FROM EXCEEDING 60 dBA MEASURED AT THE NEAREST PROPERTY LINE.
- CONTACT PUBLIC WORKS DEPARTMENT, TRAFFIC ENGINEERING @621-8800, 10 WORKING DAYS PRIOR TO ANY OFF-SITE CONCRETE CONSTRUCTION.
- UNDERGROUND ALL EXISTING OVERHEAD UTILITIES WITHIN THE LIMITS OF THIS SITE/MAP AS PER FMC SECTION 12-1011 AND RES. NO. 78-5227 88-229.
- DEED(S) OF EASEMENT(S) FOR THE REQUIRED DEDICATION(S) SHALL BE PREPARED BY THE OWNER/DEVELOPER'S ENGINEER AND SUBMITTED TO THE CITY WITH VERIFICATION OF OWNERSHIP PRIOR TO THE ISSUANCE OF BUILDING PERMITS.
- ALL EXISTING DRIVEWAY APPROACHES WHICH NO LONGER PROVIDE ACCESS TO APPROVED VEHICLE PARKING AREAS SHALL BE REMOVED UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER. SUCH AREAS SHALL BE RECONSTRUCTED WITH CURB, GUTTER AND SIDEWALK TO MATCH THE EXISTING ADJACENT STREET IMPROVEMENTS. THIS WORK SHALL BE COMPLETED AND ACCEPTED BEFORE A PERMIT OF OCCUPANCY IS ISSUED OR THE BUILDING IS OCCUPIED. AUTHORITY FMC 11-209.
- TREES IN LANDSCAPE STRIPS THAT ARE BEING PLANTED WITHIN FOUR FEET OF SIDEWALKS SHALL BE FURNISHED WITH ROOT BARRIERS TO PROTECT THE CONCRETE FROM DAMAGE.
- PROVIDE APPROVED POLICE/FIRE BYPASS LOCK ("BEST" PADLOCK MODEL 218700 SERIES OR ELECTRIC CYLINDER SWITCH MODEL 1W782) ON DRIVE ACCESS GATE(S) ON BOTH ENTRY AND EXIT IF PROPOSING A KEYPAD ON BOTH SIDES AS INDICATED ON PLANS. FIRE MUST BE ABLE TO ENTER AND EXIT WITHOUT USING A KEYPAD.
- APPLICANTS ARE ENCOURAGED TO PROVIDE SHARED VEHICLE AND PEDESTRIAN ACCESS BETWEEN ADJACENT PROPERTIES FOR CONVENIENCE, SAFETY, AND EFFICIENT CIRCULATION. A KEYPAD ACCESS COVENANT SHALL BE REQUIRED.
- IF ARCHAEOLOGICAL MATERIAL IS POSSIBLY NATIVE AMERICAN IN ORIGIN, THE NATIVE AMERICAN HERITAGE COMMISSION (PHONE: (916)853-4082) SHALL BE IMMEDIATELY CONTACTED, AND THE CALIFORNIA ARCHAEOLOGICAL INVENTORY/SOUTHERN SAN JOAQUIN VALLEY INFORMATION CENTER (PHONE: (805)644-2289) SHALL BE CONTACTED TO OBTAIN A REFERRAL LIST OF RECOGNIZED ARCHAEOLOGISTS. AN ARCHAEOLOGICAL ASSESSMENT SHALL BE CONDUCTED FOR THIS PROJECT. THE SITE SHALL BE FORMALLY RECORDED, AND RECOMMENDATIONS MADE TO THE CITY AS TO ANY FURTHER SITE INVESTIGATION OR SITE AVOIDANCE/PRESERVATION.
- IF ANIMAL FOSSILS ARE UNCOVERED, THE MUSEUM OF PALEONTOLOGY, U.C. BERKELEY SHALL BE CONTACTED TO OBTAIN A REFERRAL LIST OF RECOGNIZED PALEONTOLOGISTS. AN ASSESSMENT SHALL BE CONDUCTED BY A PALEONTOLOGIST AND, IF THE PALEONTOLOGIST DETERMINES THE MATERIAL TO BE SIGNIFICANT, IT SHALL BE PRESERVED.

**KEYED NOTES:**

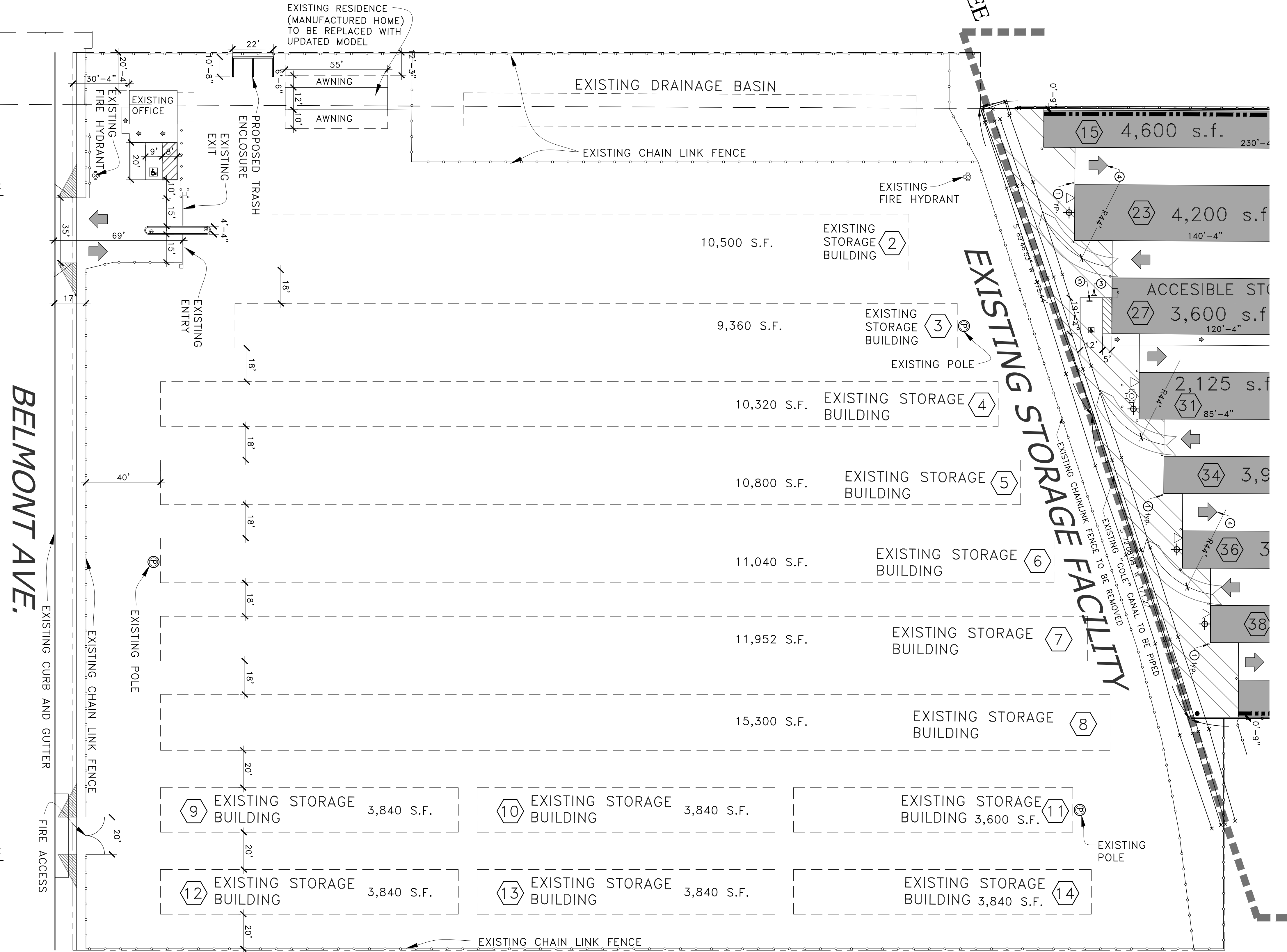
- PROPOSED 3" DIA. STEEL GUARD POST - SEE DETAIL SHEET D-2.
- PROPOSED BUILDING HEIGHT (48'-4") WALL BETWEEN BUILDINGS ALONG PERIMETER (TYPICAL).
- PROPOSED ACCESSIBLE PARKING W/ SIGNAGE - SEE SHEET D-2.
- DIRECTIONAL ARROWS (ARROWS INSIDE FACILITY TO REPRESENT FLOW OF TRAFFIC, FOR PLANNING PURPOSES ONLY).
- PROVIDE 6" HIGH WHEELSTOP.
- INSTALL "DO NOT ENTER" SIGN.
- 12' VISIBILITY TRIANGLE TO BE CLEAR OF ANY OBSTRUCTIONS BETWEEN 5'-8" TALL AT INGRESS/EGRESS.
- INSTALL SIGN THAT READS "FIRE LANE" IN 6" LETTERS, "VEHICLES REMOVED AT OWNER'S EXPENSE" IN 2" LETTERS, "FRESNO POLICE DEPT @ (559)621-7000" IN 1" LETTERS.
- CONSTRUCT FIRE ACCESS PER CITY OF FRESNO P-67.

**LEGEND:**



ALLOWABLE SQUARE FOOTAGE	
STORAGE BUILDINGS	5,000 SF x 1 x 1 x 1+8,000 MAX SF
OFFICE	5,000 SF x 1 x 1 x 1+15+836/9200 SF=07
RESIDENCE	UNLIMITED 1,485 SF/UNLIMITED
OCCUPANCY	STORAGE BUILDINGS 3-1
	OFFICE 8-3
	RESIDENCE 1-1
TYPE OF CONSTRUCTION	RESIDENCE/OFFICE V-8
	STORAGE BUILDINGS V-9

SITE DATA	
PROPERTY OWNER	BUILDING SQUARE FOOTAGE
CONSTRUCTION PHASES	EXISTING STORAGE
3265 W. ASHLAN AVE.	EXISTING STORAGE
FRESNO, CA 93722	PROPOSED EXPANSION
(559) 224-9900	TOTAL STORAGE
	207,257 S.F.
APN#	EXPANSION
449-130-42	449-130-30
	EXISTING FACILITY
	RESIDENCE
	LAND ACREAGE
	STORAGE (GROSS)
	810.7 AC.



BELMONT AVE.

**SITE PLAN**

**REVISIONS:**

March 28, 2019

**DERRELS Mini STORAGE**  
 3265 W ASHLAN, AVE FRESNO CA 93722 (559) 224-9900

**APPROVALS**

Date: August 15, 2018  
 Scale: 1" = 30'-0"  
 Drawn By: J. L.  
 Project: Site Plan  
 Belmont Expansion  
 Sheet: A-1.1

**LEGAL DESCRIPTION:**

APN# 449-130-02 THE REAL PROPERTY SITUATED IN THE CITY OF FRESNO, COUNTY OF FRESNO, STATE OF CALIFORNIA, FRESNO IRRIGATION DISTRICT AND IS DESCRIBED AS FOLLOWS:

PARCEL A: THAT PORTION OF LOTS 77 AND 78 OF ROEDING'S VILLA COLONY, ACCORDING TO THE MAP THEREOF RECORDED IN BOOK 2 PAGE 13 OF RECORD OF SURVEYS, FRESNO COUNTY RECORDS, DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT ON THE SOUTH LINE OF SAID LOT 77 NORTH 89°59'30" WEST 490.00 FEET FROM THE SOUTHEAST CORNER OF SAID LOT 77; THENCE NORTH 00°06'30" EAST 558.26 FEET; THENCE SOUTH 89°00'40" WEST 175.53 FEET TO A POINT ON THE WEST LINE OF SAID LOT 77 SOUTH 00°13'30" WEST 790.96 FEET FROM THE NORTHWEST CORNER OF SAID LOT 77; THENCE 89°59'00" WEST 30.04 FEET; THENCE SOUTH 00°12'00" WEST TO A POINT ON THE SOUTH LINE OF SAID LOT 78; THENCE SOUTH 89°59'30" EAST 195.47 FEET TO THE POINT OF COMMENCEMENT.

EXCEPTING THEREFROM THE SOUTH 20.00 FEET THEREOF.

PARCEL B: THAT PORTION OF LOT 77 OF ROEDING'S VILLA COLONY, FRESNO COUNTY RECORDS, DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID LOT 77; THENCE NORTH 89°59'30" WEST 490.00 FEET; THENCE NORTH 00°06'30" EAST, 558.26 FEET; THENCE NORTH 72°02'00" EAST 171.36 FEET; THENCE NORTH 00°10'00" EAST 18.00 FEET; THENCE SOUTH 89°58'45" EAST 327.14 FEET; THENCE 00°06'30" WEST 628.93 FEET TO THE POINT OF COMMENCEMENT.

EXCEPTING THEREFROM THAT PORTION OF SAID LOT 77 DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHEAST CORNER OF SAID LOT 77; THENCE SOUTH 89°50'00" WEST ALONG THE SOUTH BOUNDARY OF SAID LOT 77 A DISTANCE OF 490.00 FEET; THENCE NORTH 00°04'00" WEST 20.00 FEET; THENCE NORTH 72°02'00" EAST PARALLEL WITH THE NORTH BOUNDARY OF SAID LOT 77 A DISTANCE OF 232.80 FEET; THENCE SOUTH 88°36'36" EAST 157.28 FEET TO A POINT ON THE EAST BOUNDARY OF SAID LOT 77; THENCE SOUTH 00°04'00" EAST ALONG SAID EAST BOUNDARY 13.01 FEET TO THE POINT OF BEGINNING.

ALSO EXCEPTING THE EASTERLY 202.72 FEET OF SAID LAND.

APN# 499-130-30 THE LAND REFERRED TO HEREIN IS SITUATED IN THE STATE OF CALIFORNIA, COUNTY OF FRESNO, CITY OF FRESNO AND DESCRIBED AS FOLLOWS:

THAT PORTION OF LOT 77 OF ROEDING'S VILLA COLONY, CITY OF FRESNO, COUNTY OF FRESNO, STATE OF CALIFORNIA, ACCORDING TO THE MAP THEREOF RECORDED IN BOOK 2, PAGE 43 OF RECORD OF SURVEYS, FRESNO COUNTY RECORDS, DESCRIBED AS FOLLOWS:

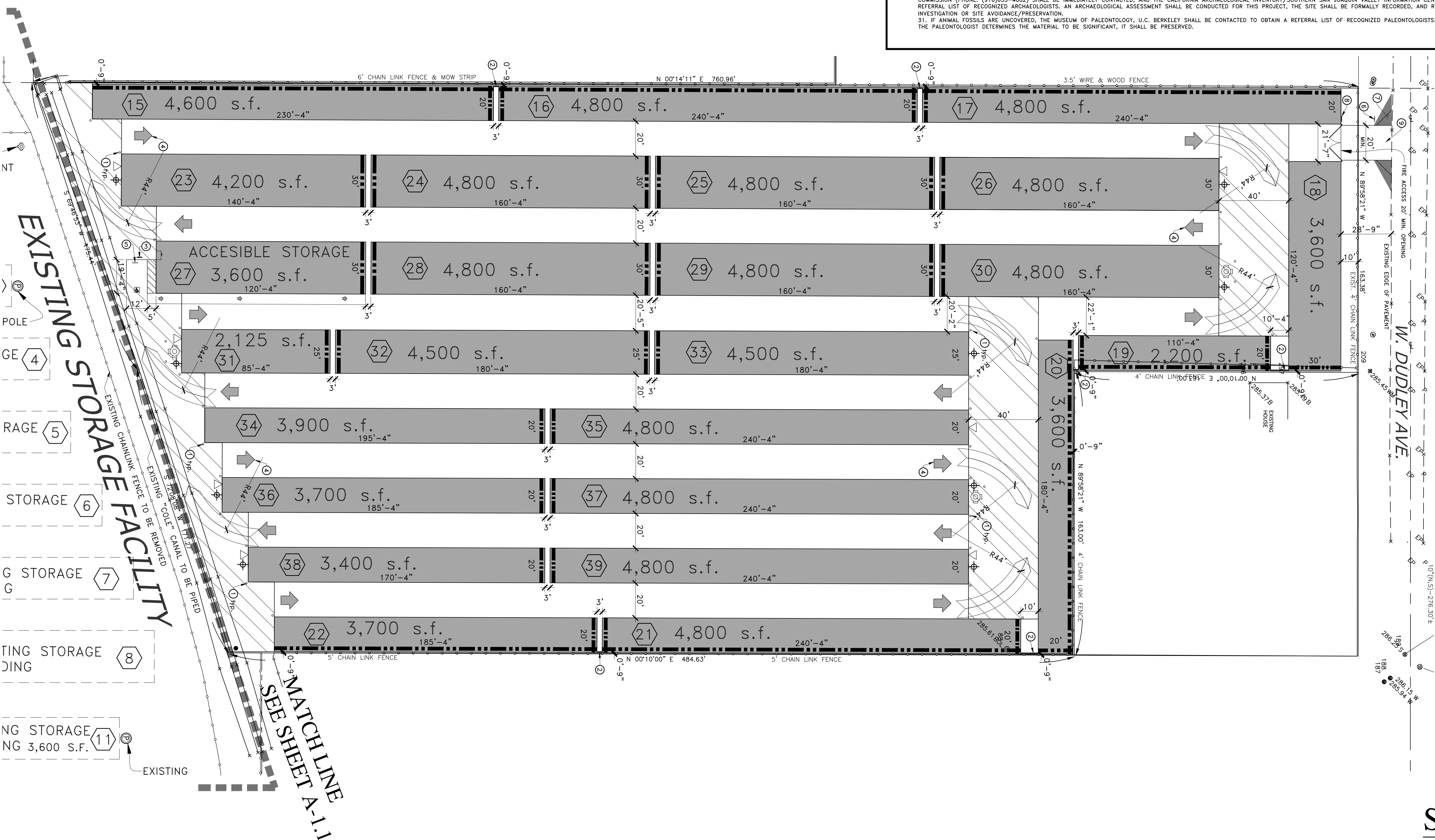
BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 77; THENCE SOUTH 89°58' EAST A DISTANCE OF 326.55 FEET ALONG THE NORTH LINE OF SAID LOT TO A POINT, BEING NORTH 89°58' WEST A DISTANCE OF 326.55 FEET FROM THE NORTHEAST CORNER OF SAID LOT 77; THENCE SOUTH 00°10' WEST A DISTANCE OF 877.03 FEET; THENCE SOUTH 72°02' WEST A DISTANCE OF 171.36 FEET; THENCE SOUTH 89°40' 3/4 WEST A DISTANCE OF 175.53 FEET TO THE WEST LINE OF SAID LOT 77; THENCE NORTH 00°13' 1/4 EAST A DISTANCE OF 790.96 FEET ALONG THE WEST LINE OF SAID LOT 77 TO THE POINT OF BEGINNING.

EXCEPTING THEREFROM THE NORTH 30.00 FEET THEREOF.

ALSO EXCEPTING THEREFROM BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 77; THENCE SOUTH 89°58' EAST A DISTANCE OF 326.55 FEET ALONG THE NORTH LINE OF SAID LOT TO A POINT WHICH POINT IS NORTH 89°58' WEST A DISTANCE OF 326.55 FEET FROM THE NORTHEAST CORNER OF SAID LOT 77, SAID POINT BEING THE TRUE POINT OF BEGINNING OF THE HEREIN DESCRIBED PROPERTY; THENCE SOUTH 00°10' WEST A DISTANCE OF 193.00 FEET; THENCE NORTH 89°58' WEST PARALLEL WITH THE NORTH LINE OF SAID LOT 77 A DISTANCE OF 163.00 FEET; THENCE NORTH 00°10' EAST A DISTANCE OF 193.00 FEET TO THE NORTH LINE OF SAID LOT 77; THENCE SOUTH 89°58' EAST ALONG THE NORTH LINE OF SAID LOT 77 TO THE POINT OF BEGINNING.

**GENERAL NOTES:**

- NO USES OF LAND, BUILDINGS OR STRUCTURES OTHER THAN THOSE SPECIFICALLY APPROVED PURSUANT TO THIS SITE PLAN SHALL BE PERMITTED.
- LANDSCAPING MUST BE IN PLACE BEFORE ISSUANCE OF CERTIFICATE OF OCCUPANCY. A HOLD ON OCCUPANCY SHALL BE PLACED ON THE PROPOSED DEVELOPMENT UNTIL SUCH TIME THAT LANDSCAPING HAS BEEN APPROVED AND VERIFIED FOR PROPER INSTALLATION BY THE DEVELOPMENT SERVICES DIVISION.
- PRIOR TO FINAL INSPECTION, A WRITTEN CERTIFICATION, SIGNED BY A LANDSCAPE PROFESSIONAL APPROVED BY THE DIRECTOR, SHALL BE SUBMITTED STATING THAT THE REQUIRED LANDSCAPING AND IRRIGATION SYSTEM HAS BEEN INSTALLED IN ACCORDANCE WITH THE LANDSCAPING AND IRRIGATION PLANS APPROVED BY THE PLANNING DIVISION, DEVELOPMENT DEPARTMENT.
- ALL ACCESSIBLE STALLS SHALL BE MARKED WITH THE INTERNATIONAL SYMBOL OF SPACES AND WARNING THAT VEHICLES IN VIOLATION OF SECTION 10-1017 OF THE MUNICIPAL CODE SHALL BE TOWED AWAY. THE INTERNATIONAL SYMBOL AND TOW-AWAY WARNING SHALL BE POSTED CONSPICUOUSLY ON SEVEN-FOOT POLES.
- ALL HANDICAPPED PARKING STALLS SHALL BE PLACED ADJACENT TO FACILITY ACCESS RAMPS OR IN STRATEGIC AREAS WHERE THE HANDICAPPED SHALL NOT HAVE TO WHEEL OR WALK BEHIND PARKED VEHICLES WHILE TRAVELING TO OR FROM HANDICAPPED PARKING STALLS AND RAMPS.
- WHERE LIGHTING IS PROVIDED TO ILLUMINATE PARKING, BUILDING ENTRANCES, AISLES, STORAGE, CARETAKER RESIDENCE, OFFICE, AND/OR TRUCK/TRAILER RENTAL AREAS, IT SHALL BE DOWN-DIRECTED, HOODED/SHEILED AND SO ARRANGED AND CONTROLLED SO AS NOT TO CAUSE A NUISANCE EITHER TO STREET TRAFFIC OR TO THE LIVING ENVIRONMENT. THE AMOUNT OF LIGHT REQUIRED FOR PUBLIC PARKING AND TRUCK/TRAILER RENTAL AREAS SHALL BE PROVIDED ACCORDING TO THE STANDARDS OF THE DEPARTMENT OF PUBLIC WORKS.
- SIGNS, OTHER THAN DIRECTIONAL SIGNS, IF APPLICABLE, ARE NOT APPROVED FOR INSTALLATION AS PART OF THIS SPECIAL PERMIT. A SEPARATE APPLICATION FOR SIGN REVIEW IS REQUIRED.
- WINDOW SIGNS ARE LIMITED TO 4 SQUARE FEET IN AREA, PROVIDING INFORMATION ABOUT HOURS OF OPERATION AND EMERGENCY, SALE OR RENTAL INFORMATION ONLY. EXTERIOR SIGNAGE SUCH AS BANNERS, FLAGS AND PENNANTS ARE PROHIBITED. HOWEVER, SPECIAL EVENT BANNER SIGNS SHOWING GRAND OPENINGS, NEW MANAGEMENT ETC., ARE PERMITTED FOR 30 DAYS IF APPROVED BY THE DEVELOPMENT DIRECTOR, ATTACHED TO THE BUILDING AND DO NOT EXCEED 32 SQUARE FEET IN AREA.
- ALL CONSTRUCTION WORK ON THIS PROJECT IS SUBJECT TO INTERRUPTION IF THE ROAD SYSTEM BECOMES IMPASSABLE FOR FIRE APPARATUS DUE TO RAIN OR OTHER OBSTACLES.
- OPEN CUT IS NOT PERMITTED. ALL UTILITY CONNECTION MUST BE BORED.
- ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A PERSON LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF CALIFORNIA.
- REPAIR ALL DAMAGED AND/OR OFF-GRADE CONCRETE STREET IMPROVEMENTS AS DETERMINED BY THE CONSTRUCTION MANAGEMENT ENGINEER PRIOR TO OCCUPANCY.
- (2) WORKING DATAS BEFORE COMMENCING EXCAVATION OPERATIONS WITHIN THE STREET RIGHT-OF-WAY AND/OR UTILITY EASEMENTS ALL EXISTING UNDERGROUND FACILITIES SHALL HAVE BEEN LOCATED BY UNDERGROUND SERVICES ALERT (USA). CALL 1-800-642-2444.
- TWO MEANS OF INGRESS/EGRESS MUST BE MAINTAINED DURING ALL PHASES OF DEVELOPMENT.
- FIRE HYDRANTS SHALL BE TESTED, PAINTED, NUMBERED AND APPROVED AND ALL SURFACE ACCESS ROADS SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION.
- THE ENTRANCE TO ALL EMERGENCY ACCESSES SHALL BE POSTED WITH PERMANENT SIGNS THAT SHALL READ: "FIRE ACCESS (6" LETTERS) VEHICLES REMOVED AT OWNER'S EXPENSE (2" LETTERS) FRESNO POLICE DEPARTMENT 621-2000 (1" LETTERS)". - POST ON BOTH SIDES. PROVIDE APPROVED POLICE/FIRE BYPASS LOCK ("BEST" MODEL 218700 SERIES OR ELECTRIC CYLINDER SWITCH MODEL 1W782) ON DRIVE ACCESS GATE(S).
- PROVIDE PORTABLE FIRE EXTINGUISHERS PER NFPA 10, 2-A-10-B-C RATED MINIMUM, ONE HYDRANT FOR EVERY 3,000 S.F. OR PORTION THEREOF OF FLOOR SPACE AND TRAVEL DISTANCE NOT TO EXCEED 75 FT.
- PLANS MUST BE REVIEWED AND APPROVED BY PCBE PRIOR TO ISSUANCE OF BUILDING PERMITS.
- NO STRUCTURES MAY BE INSTALLED OR MAINTAINED WITHIN THE ABOVE-NOTED REQUIRED LANDSCAPED SETBACK AREAS, EXCEPTING LANDSCAPE IRRIGATION EQUIPMENT, DECORATIVE FOUNTAIN(S) AND REQUIRED FENCES AND WALLS.
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- CONTACT PUBLIC WORKS DEPARTMENT, TRAFFIC ENGINEERING @21-8800, 10 WORKING DAYS PRIOR TO ANY OFF-SITE CONCRETE CONSTRUCTION.
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- PROVIDE APPROVED POLICE/FIRE BYPASS LOCK ("BEST" PADLOCK MODEL 218700 SERIES OR ELECTRIC CYLINDER SWITCH MODEL 1W782) ON DRIVE ACCESS GATE(S) ON BOTH ENTRY AND EXIT IF PROPOSING A KEYPAD ON BOTH SIDES AS INDICATED ON PLANS. FIRE MUST BE ABLE TO ENTER AND EXIT WITHOUT USING A KEYPAD.
- APPLICANTS ARE ENCOURAGED TO PROVIDE SHARED VEHICLE AND PEDESTRIAN ACCESS BETWEEN ADJACENT PROPERTIES FOR CONVENIENCE, SAFETY, AND EFFICIENT CIRCULATION. A JOINT ACCESS COVENANT SHALL BE REQUIRED.
- IF ARCHAEOLOGICAL AND/OR ANIMAL FOSSIL MATERIAL IS ENCOUNTERED DURING PROJECT SURVEYING, GRADING, EXCAVATING, OR CONSTRUCTION, WORK SHALL STOP IMMEDIATELY.
- IF THERE ARE SUSPECTED HUMAN REMAINS, THE FRESNO COUNTY CORONER SHALL BE IMMEDIATELY CONTACTED. IF THE REMAINS OR OTHER ARCHAEOLOGICAL MATERIAL IS POSSIBLY NATIVE AMERICAN IN ORIGIN, THE NATIVE AMERICAN HERITAGE COMMISSION (PHONE: (916)653-4082) SHALL BE IMMEDIATELY CONTACTED, AND THE CALIFORNIA ARCHAEOLOGICAL INVENTORY/SOUTHERN SAN JOAQUIN VALLEY INFORMATION CENTER (PHONE: (805)644-2289) SHALL BE CONTACTED TO OBTAIN A REFERRAL LIST OF RECOGNIZED ARCHAEOLOGISTS. AN ARCHAEOLOGICAL ASSESSMENT SHALL BE CONDUCTED FOR THIS PROJECT. THE SITE SHALL BE FORMALLY RECORDED, AND RECOMMENDATIONS MADE TO THE CITY AS TO ANY FURTHER SITE INVESTIGATION OR SITE AVOIDANCE/PRESERVATION.
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**KEYED NOTES:**

- PROPOSED 3" DIA. STEEL GUARD POST - SEE DETAIL SHEET D-2.
- PROPOSED BUILDING HEIGHT (28'-4") WALL BETWEEN BUILDINGS ALONG PERIMETER (TYPICAL).
- PROPOSED ACCESSIBLE PARKING W/ SIGNAGE - SEE SHEET D-2.
- DIRECTIONAL ARROWS (ARROWS INSIDE FACILITY TO REPRESENT FLOW OF TRAFFIC, FOR PLANNING PURPOSES ONLY).
- PROVIDE 6" HIGH WHEELSTOP.
- INSTALL "DO NOT ENTER" SIGN.
- 12' VISIBILITY TRIANGLE TO BE CLEAR OF ANY OBSTRUCTIONS BETWEEN 5'-8" TALL AT INGRESS/EGRESS.
- INSTALL SIGN THAT READS "FIRE LANE" IN 6" LETTERS. "VEHICLES REMOVED AT OWNER'S EXPENSE" IN 2" LETTERS. "FRESNO POLICE DEPT @ (559)621-7000" IN 1" LETTERS.
- CONSTRUCT FIRE ACCESS PER CITY OF FRESNO P-67.

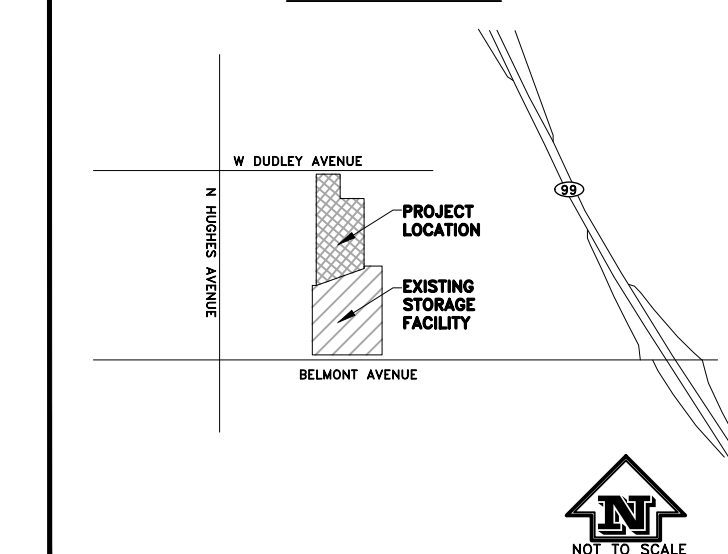
**LEGEND:**

- PROPOSED FIRE HYDRANT
- PROPOSED 150 WATT HIGH PRESSURE SODIUM LIGHT AT 7'-6"
- PROPOSED 2A 10BC FIRE EXTINGUISHER IN CABINET AS REQUIRED
- 3/8" CONCRETE DRIVES O/6" COMPACT NATIVE SOIL
- 4 1/2" CONCRETE DRIVES O/6" COMPACT NATIVE SOIL
- PROPOSED MINI STORAGE BUILDING CONSTRUCTION - 105,225 s.f.
- EXISTING BUILDING CONSTRUCTION - 102,072 s.f.
- PROPOSED ONE-HOUR FIRE WALL
- PROPOSED TWO-HOUR FIRE WALL
- EXISTING CHAIN LINK FENCE

**ALLOWABLE SQUARE FOOTAGE**

STORAGE BUILDINGS	5,000 SF x 1 x 1 x 148,000 MAX SF
OFFICE	5,000 SF x 1 x 1 x 1.15-436/9200 SF=07
RESIDENCE	UNLIMITED 1,485 SF/UNLIMITED
OCCUPANCY	STORAGE BUILDINGS S-1
	RESIDENCE R-3
TYPE OF CONSTRUCTION	RESIDENCE/OFFICE V-8
	STORAGE BUILDINGS V-8

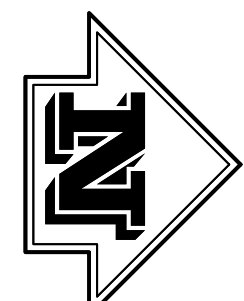
**VICINITY MAP**



**SITE DATA**

<b>PROPERTY OWNER</b> DERRRELS MINI STORAGE L.P. 3265 W DUDLEY AVE. FRESNO, CA 93724 (559) 224-9900	<b>BUILDING SQUARE FOOTAGE</b> CONSTRUCTION PHASES IN EXISTING STORAGE.....102,072 S.F. PROPOSED EXPANSION.....105,225 S.F. TOTAL STORAGE.....207,297 S.F.
<b>A.P.N.</b> EXPANSION 449-130-30 EXISTING FACILITY 449-130-02	<b>LAND ACRES</b> STORAGE (0005) 810.7 AC.

**SITE PLAN**



**REVISIONS:**

March 28, 2019

**DERRRELS Mini STORAGE**  
 3265 W DUDLEY AVE FRESNO CA 93722 (559) 224-9900

**APPROVALS**

C:\My Docs\CADfiles\Projects
6_BelmontExpansion\6-A1.dwg
Date: August 15, 2018
Scale: 1" = 30'-0"
Drawn By: J. L.
Project: Site Plan
Fresno
Belmont Expansion
Sheet: A-1.2