




SANTA FE & W SIERRA PSL # 451938

6575 N. SANTA FE AVE.
FRESNO, CA 93722



TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN CALIFORNIA (NORTH & CENTRAL), CALL USA NORTH 811

TOLL FREE: 1-800-227-2600 OR www.usanorth811.org

CALIFORNIA STATUTE REQUIRES MIN OF 2 WORKING DAYS NOTICE BEFORE YOU EXCAVATE

Know what's below. Call before you dig.

ISSUE STATUS			
REV.	DATE	DESCRIPTION	BY
0	11/21/17	90% ZONING	FA
1	04/03/18	100% ZONING	FA
2	04/24/18	100% ZONING	FA
3	03/22/19	100% ZONING	FA
4	04/03/19	100% ZONING	FA
5	04/16/19	100% ZONING	FA



SAC AE DESIGN GROUP, INC.
5015 SHOREHAM PLACE, STE. 150
SAN DIEGO, CA 92122
www.sacw.com
619.736.3766

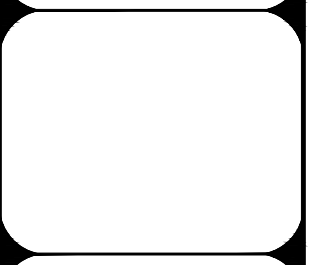
PROPRIETARY INFORMATION

THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS PROPRIETARY & CONFIDENTIAL TO VERIZON WIRELESS

ANY USE OR DISCLOSURE OTHER THAN AS IT RELATES TO VERIZON WIRELESS IS STRICTLY PROHIBITED



2785 MITCHELL DRIVE, BLDG 9
WALNUT CREEK, CA 94598

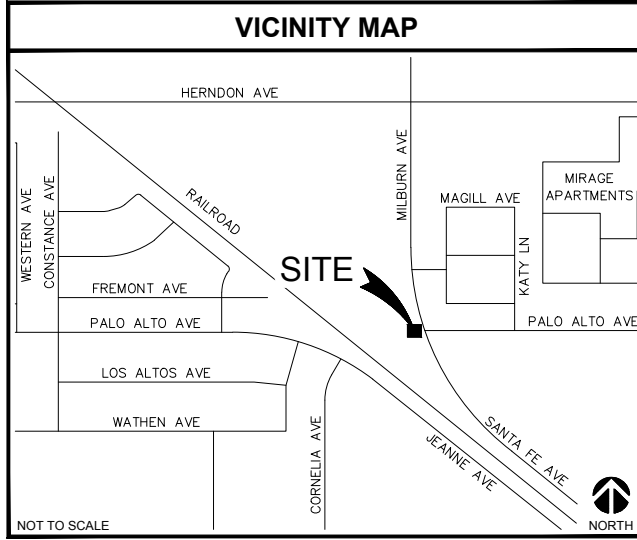


SANTA FE & W
SIERRA
PSL# 451938
6575 N. SANTA FE AVE.
FRESNO, CA 93722

SHEET TITLE:
TITLE SHEET

T-1

PROJECT TEAM	
SITE ACQUISITION SAC WIRELESS, LLC. 8880 CAL CENTER DRIVE SUITE 130 SACRAMENTO, CA 95826 CONTACT: JOSEPH SHARP TELEPHONE: (916) 205-9305 JOSEPH.SHARP@SACW.COM	PLANNING SAC WIRELESS, LLC. 8880 CAL CENTER DRIVE SUITE 130 SACRAMENTO, CA 95826 CONTACT: JOSEPH SHARP TELEPHONE: (916) 205-9305 JOSEPH.SHARP@SACW.COM
ARCHITECT: SAC AE DESIGN GROUP, INC NESTOR POPOWYCH, AIA 5015 SHOREHAM PLACE SUITE 150 SAN DIEGO, CA 92122 CONTACT: RYAN LIMA TELEPHONE: (619) 471-6359 FAX: (619) 736-3616 RYAN.LIMA@SACW.COM	SURVEYOR: SMITHCO SURVEYING ENGINEERING P.O. BOX 61626 BAKERSFIELD, CA 93380 CONTACT: GREG SMITH, PLS TELEPHONE: (661) 393-1217 GSMITH@SMITHCO.NET
UTILITY COORDINATOR: SAC WIRELESS, LLC. 8880 CAL CENTER DRIVE SUITE 130 SACRAMENTO, CA 95826 CONTACT: JASON PIMENTEL TELEPHONE: (559) 362-1434 JASON.PIMENTEL@SACW.COM	



DRIVING DIRECTIONS


FROM: 2785 MITCHELL DRIVE, BLDG 9 WALNUT CREEK, CA 94598	TO: 6575 N. SANTA FE AVE. FRESNO, CA 93722
1. HEAD NORTH-EAST ON MITCHELL DR TOWARD OAK GROVE RD	12. TURN RIGHT ONTO N ST
2. TURN RIGHT ONTO OAK GROVE RD	13. TURN LEFT ONTO 13TH ST
3. TURN RIGHT ONTO YGNACIO VALLEY RD	14. CONTINUE ONTO AVE 7 1/2/FIREBAUGH BLVD
4. TURN RIGHT AND BECOMES HILLSIDE AVE	15. SLIGHT RIGHT ONTO AVE 7/RIPPERDAN AVE
5. TURN LEFT ONTO THE I 880 S TO SAN JOSE	16. CONTINUE TO FOLLOW AVE 7
6. USE THE RIGHT 2 LANES TO TAKE EXIT 30A TO MERGE ONTO I-880 E TOWARD STOCKTON	17. TURN LEFT TOWARD CA-99 S
7. TAKE THE I 880 EXIT TOWARD I-5 S	18. SLIGHT RIGHT TO MERGE ONTO CA-99 S
8. TAKE EXIT 385 FOR NEES AVE TOWARD FIREBAUGH	19. TAKE EXIT 143 FOR NORTH GOLDEN STATE BLVD N
9. TURN LEFT ONTO PAUL NEGRA RD	20. CONTINUE ONTO N GOLDEN STATE BLVD N
10. CONTINUE ONTO W NEES AVE	21. TURN LEFT ONTO W HERNDON AVE
11. CONTINUE ONTO 12TH ST	22. TURN RIGHT ONTO N MILBURN AVE
	23. CONTINUE ONTO N SANTA FE AVE
	24. DESTINATION WILL BE ON THE RIGHT

PROJECT DESCRIPTION

THIS PROJECT IS A VERIZON WIRELESS UNMANNED TELECOMMUNICATION WIRELESS FACILITY. IT WILL CONSIST OF THE FOLLOWING:

- NEW VERIZON WIRELESS 30'-0" x 30'-0" LEASE AREA
- NEW VERIZON WIRELESS 6'-0" TALL CMU WALL
- NEW VERIZON WIRELESS OUTDOOR EQUIPMENT 15'-0" X 8'-0" CONCRETE PAD
- (1) NEW VERIZON WIRELESS GPS ANTENNA
- (1) NEW VERIZON WIRELESS ELECTRICAL METER W/FUSED DISCONNECT
- (1) NEW VERIZON WIRELESS INTERSECT CABINET W/GENERATOR RECEPTACLE
- (1) NEW VERIZON WIRELESS TELCO BOX
- (1) NEW VERIZON WIRELESS 70'-0" HIGH MONOPINE
- (9) NEW VERIZON WIRELESS 6' TALL PANEL ANTENNAS
- (9) NEW VERIZON WIRELESS RRUS
- (2) NEW VERIZON WIRELESS RAYCAPS
- (2) NEW VERIZON WIRELESS HYBRID CABLES
- (12) NEW VERIZON WIRELESS 7/8"Ø COAX CABLES

PROJECT SUMMARY

APPLICANT/LESSEE  2785 MITCHELL DRIVE, BLDG 9 WALNUT CREEK, CA 94598 OFFICE: (925) 279-6000	ASSESSOR'S PARCEL NUMBER 507-030-20
APPLICANT'S REPRESENTATIVE SAC WIRELESS, LLC. 8880 CAL CENTER DRIVE SUITE 130 SACRAMENTO, CA 95826 CONTACT: JOSEPH SHARP TELEPHONE: (916) 205-9305 JOSEPH.SHARP@SACW.COM	
PROPERTY OWNER: OWNER: RICHARD & ALLYSON KAHN ADDRESS: 6575 N. SANTA FE AVE. FRESNO, CA 93722 CONTACT: ALLYSON KAHN PHONE: (559) 284-9579 EMAIL: allysonkahn@gmail.com	
PROPERTY INFORMATION: SITE NAME: SANTA FE & W SIERRA SITE NUMBER: 451938 SITE ADDRESS: 6575 N. SANTA FE AVE. FRESNO, CA 93722 JURISDICTION: CITY OF FRESNO	
CONSTRUCTION INFORMATION AREA OF CONSTRUCTION: 30'-0" x 30'-0" = 900 SQ. FT. OCCUPANCY: U TYPE OF CONSTRUCTION: V-B CURRENT ZONING: CC/UGM/CZ ACCESSIBILITY REQUIREMENTS: FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. ACCESSIBILITY NOT REQUIRED.	

GENERAL CONTRACTOR NOTES

DO NOT SCALE DRAWINGS IF NOT FULL SIZE (24 X 36)

CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR THE SAME.

CODE COMPLIANCE

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. ALL WORK SHALL CONFORM TO 2016 EDITION TITLE 24, CALIFORNIA CODE OF REGULATIONS. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE LATEST EDITIONS OF THE FOLLOWING CODES.

• 2016 CALIFORNIA ADMINISTRATIVE CODE	• 2016 CALIFORNIA FIRE CODE
• 2016 CALIFORNIA BUILDING CODES	• 2016 CALIFORNIA ENERGY CODE
• 2016 CALIFORNIA ELECTRICAL CODE	• CITY & COUNTY ORDINANCES

VERIZON WIRELESS SIGNATURE BLOCK

DISCIPLINE:	SIGNATURE:	DATE:
SITE ACQUISITION:		
CONSTRUCTION:		
RADIO:		
MICROWAVE:		
TELCO:		
EQUIPMENT:		
PROJECT ADMINISTRATOR:		
WO ADMINISTRATOR:		

SHEET	DESCRIPTION
T-1	TITLE SHEET
C-1	SITE SURVEY
C-2	SITE SURVEY
A-1	SITE PLAN
A-2	EQUIPMENT & ANTENNAS LAYOUTS
A-3	NORTHEAST & SOUTHEAST ELEVATIONS
A-4	SOUTHWEST & NORTHWEST ELEVATIONS
A-5	EQUIPMENT ELEVATIONS

ZONING DRAWINGS

SAC WIRELESS SIGNATURE BLOCK

DISCIPLINE:	SIGNATURE:	DATE:
SITE ACQUISITION:		
PLANNER:		
CONSTRUCTION:		
LANDLORD:		

NOTE: THE ORIGINAL SIZE OF THIS DRAWING IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES.

NOTES

APN: 507-030-20
 OWNER: RICHARD C. KAHN & ALLYSON A. KAHN, HUSBAND AND WIFE AS JOINT TENANTS

THIS DRAWING DOES NOT REPRESENT A BOUNDARY SURVEY OF ANY PARCEL OF LAND, NOR DOES IT IMPLY OR INFER THAT A BOUNDARY SURVEY WAS PERFORMED. THIS IS A SPECIALIZED TOPOGRAPHIC MAP WITH PROPERTY AND EASEMENTS BEING A GRAPHIC DEPICTION BASED ON INFORMATION GATHERED FROM VARIOUS SOURCES OF RECORD AND AVAILABLE MONUMENTATION. PROPERTY LINES AND LINES OF TITLE WERE NEITHER INVESTIGATED NOR SURVEYED AND SHALL BE CONSIDERED APPROXIMATE ONLY. NO PROPERTY MONUMENTS WERE SET.

THE EASEMENTS (IF ANY) THAT APPEAR ON THIS MAP HAVE BEEN PLOTTED BASED SOLELY ON INFORMATION CONTAINED IN THE CONDITION OF TITLE REPORTS BY: FIRST AMERICAN TITLE COMPANY, FILE NO. 5556364, DATED SEPTEMBER 26, 2017. WITHIN SAID TITLE REPORT THERE ARE FIFTEEN (15) EXCEPTIONS LISTED, EIGHT (8) OF WHICH ARE EASEMENTS, AND THREE (3) CAN NOT BE PLOTTED.

THE UNDERGROUND SUBSTRUCTURES FACILITIES THAT APPEAR ON THIS MAP HAVE BEEN LOCATED BY A PRIVATE UTILITY LOCATOR, GROUND PENETRATING RADAR SYSTEMS, INC. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED.

THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD RATE MAP FOR COMMUNITY NO. 060048, PANEL NO. 1535H, DATED FEBRUARY 18, 2009 SHOWS THAT THE LOCATION OF THIS SITE FALLS WITHIN ZONE X, WHICH ARE AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

THE LATITUDE AND LONGITUDE AT THE LOCATION AS SHOWN WAS DETERMINED BY GPS OBSERVATIONS.

LAT. 36° 49' 58.78" N. NAD 83
 LONG. 119° 52' 43.52" W. NAD 83
 ELEV. 317.1' NAVD 88 (BASIS OF DRAWING)

The information shown above meets or exceeds the requirements set forth in FAA order 8260.19D for 1-A accuracy (± 20' horizontally and ± 3' vertically). The horizontal datum (coordinates) are expressed as degrees, minutes and seconds, to the nearest tenth of a second. The vertical datum (heights) are expressed in feet and decimals thereof and are determined to the nearest 0.1 foot.

LESSOR'S PROPERTY LEGAL DESCRIPTION PER TITLE REPORT:

REAL PROPERTY IN THE CITY OF FRESNO, COUNTY OF FRESNO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

LOT 618 OF BULLARD LANDS IRRIGATED SUBDIVISION NO. 6, IN THE CITY OF FRESNO, FRESNO COUNTY, CALIFORNIA, ACCORDING TO THE MAP THEREOF RECORDED IN VOLUME 8 OF PLATS AT PAGE 25, FRESNO COUNTY RECORDS; TOGETHER WITH THOSE PORTIONS OF PALO ALTO AVENUE AND SANTA FE AVENUE, ABANDONED BY RESOLUTION NO. 92-287, RECORDED JULY 14, 1992, AS DOCUMENT NO. 92098393, OFFICIAL RECORDS OF FRESNO COUNTY, THAT WOULD ACCRUE BY OPERATION OF LAW.

EXCEPTING THEREFROM THAT PORTION THEREOF LYING EASTERLY OF THE FOLLOWING DESCRIBED LINE, WHICH IS THE CENTERLINE OF SANTA FE AVENUE, AS SHOWN ON THE DEED OF EASEMENT TO THE CITY OF FRESNO, RECORDED JULY 11, 1991, AS DOCUMENT NO. 91082799, OFFICIAL RECORDS OF FRESNO COUNTY.

BEGINNING AT A POINT ON THE NORTH LINE OF SAID LOT 618, SAID POINT BEING 1416.40 FEET WEST OF THE NORTHEAST CORNER OF LOT 615 OF SAID BULLARD LANDS IRRIGATED SUBDIVISION NO. 6, SAID POINT ALSO BEING A POINT ON A NON-TANGENT CURVE, CONCAVE TO THE NORTHEAST, WITH A RADIUS OF 1200.00 FEET (THE RADIAL TO SAID POINT BEARS SOUTH 70° 29' 48" WEST) THENCE SOUTHEASTERLY ALONG SAID CURVE, THROUGH AN INTERIOR ANGLE OF 26° 21' 06", AN ARC DISTANCE OF 551.91 FEET TO A POINT ON THE SOUTHWESTERLY LINE OF SAID LOT 618 (THE RADIAL TO SAID POINT BEARS SOUTH 44° 08' 42").

EASEMENTS PER TITLE REPORT:

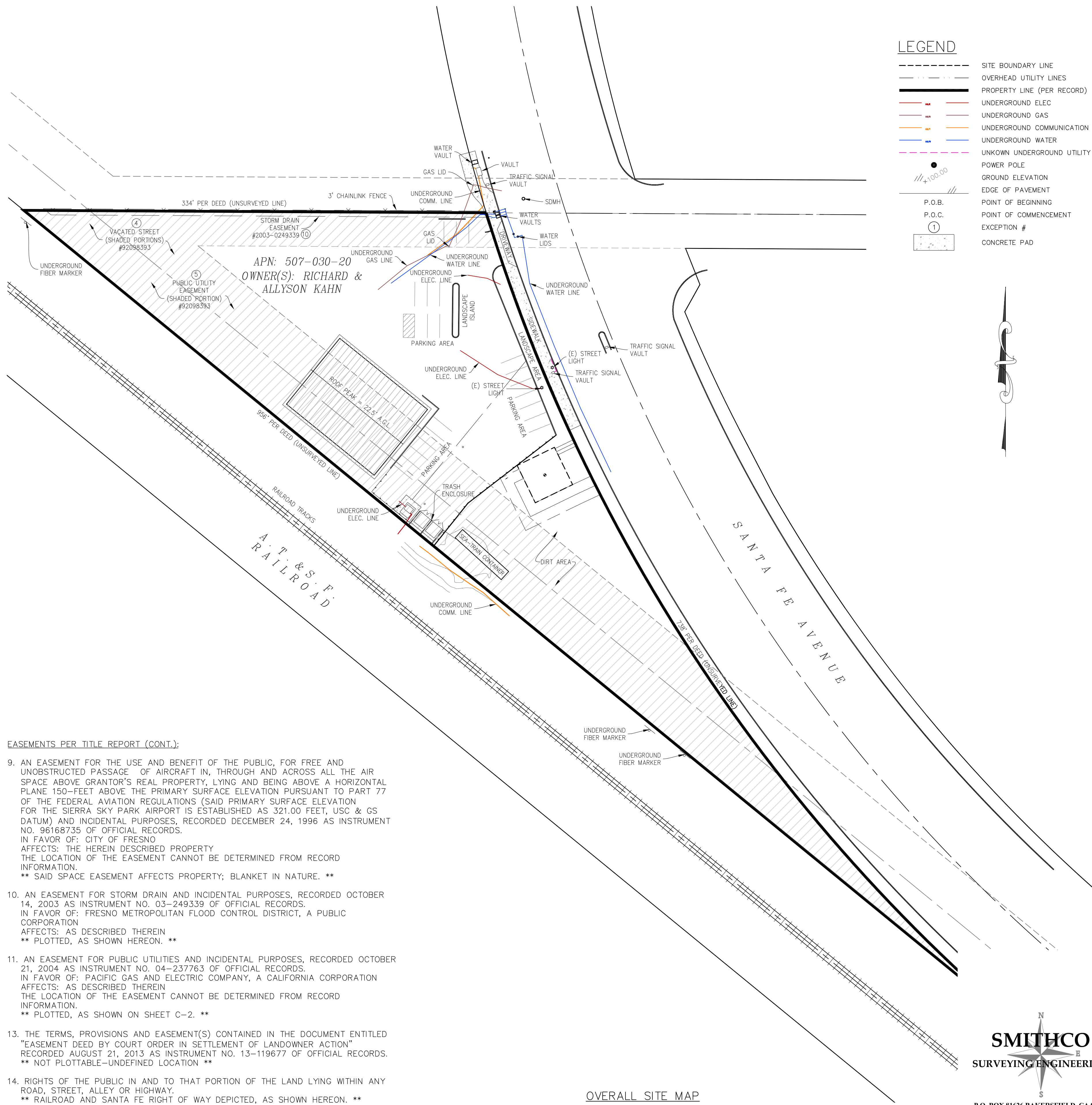
- THE RIGHTS, IF ANY, OF A CITY, PUBLIC UTILITY OR SPECIAL DISTRICT, PURSUANT TO SECTION 8345 ET SEQ. OF THE CALIFORNIA STREETS AND HIGHWAYS CODE, TO PRESERVE A PUBLIC EASEMENT IN CORNELIA, SANTA FE AND PALO ALTO AVENUES AS THE SAME WAS VACATED BY THE DOCUMENT RECORDED JULY 14, 1992 AS INSTRUMENT NO. 92098393 OF OFFICIAL RECORDS.
**** PLOTTED, AS SHOWN HEREON. ****
- AN EASEMENT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES, RECORDED JULY 14, 1992 AS INSTRUMENT NO. 92098393 OF OFFICIAL RECORDS.
 IN FAVOR OF: CITY OF FRESNO
 AFFECTS: THOSE PORTIONS OF VACATED STREETS AS SET FORTH THEREIN
**** PLOTTED, AS SHOWN HEREON. ****
- THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED ZONING CONTRACT NO. R-96-16, EXECUTED BY AND BETWEEN CITY OF FRESNO, A MUNICIPAL CORPORATION AND MARGARET M. JENSEN, TRUSTEE OF THE MARGARET M. JENSEN REVOCABLE TRUST, MARJORIE L. BRAND, DOUGLAS JENSEN AND VALLEY CHILDRENS HOSPITAL FOUNDATION, RECORDED DECEMBER 04, 1996, AS INSTRUMENT NO. 96160503 OF OFFICIAL RECORDS.
**** AFFECTS PROPERTY; BLANKET IN NATURE. ****

EASEMENTS PER TITLE REPORT (CONT.):

- AN EASEMENT FOR THE USE AND BENEFIT OF THE PUBLIC, FOR FREE AND UNOBSTRUCTED PASSAGE OF AIRCRAFT IN, THROUGH AND ACROSS ALL THE AIR SPACE ABOVE GRANTOR'S REAL PROPERTY, LYING AND BEING ABOVE A HORIZONTAL PLANE 150-FOOT ABOVE THE PRIMARY SURFACE ELEVATION PURSUANT TO PART 77 OF THE FEDERAL AVIATION REGULATIONS (SAID PRIMARY SURFACE ELEVATION FOR THE SIERRA SKY PARK AIRPORT IS ESTABLISHED AS 321.00 FEET, USC & GS DATUM) AND INCIDENTAL PURPOSES, RECORDED DECEMBER 24, 1996 AS INSTRUMENT NO. 96168735 OF OFFICIAL RECORDS.
 IN FAVOR OF: CITY OF FRESNO
 AFFECTS: THE HEREIN DESCRIBED PROPERTY
 THE LOCATION OF THE EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION.
**** SAID SPACE EASEMENT AFFECTS PROPERTY; BLANKET IN NATURE. ****
- AN EASEMENT FOR STORM DRAIN AND INCIDENTAL PURPOSES, RECORDED OCTOBER 14, 2003 AS INSTRUMENT NO. 03-249339 OF OFFICIAL RECORDS.
 IN FAVOR OF: FRESNO METROPOLITAN FLOOD CONTROL DISTRICT, A PUBLIC CORPORATION
 AFFECTS: AS DESCRIBED THEREIN
**** PLOTTED, AS SHOWN HEREON. ****
- AN EASEMENT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES, RECORDED OCTOBER 21, 2004 AS INSTRUMENT NO. 04-237763 OF OFFICIAL RECORDS.
 IN FAVOR OF: PACIFIC GAS AND ELECTRIC COMPANY, A CALIFORNIA CORPORATION
 AFFECTS: AS DESCRIBED THEREIN
 THE LOCATION OF THE EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION.
**** PLOTTED, AS SHOWN ON SHEET C-2. ****
- THE TERMS, PROVISIONS AND EASEMENT(S) CONTAINED IN THE DOCUMENT ENTITLED "EASEMENT DEED BY COURT ORDER IN SETTLEMENT OF LANDOWNER ACTION" RECORDED AUGUST 21, 2013 AS INSTRUMENT NO. 13-119677 OF OFFICIAL RECORDS.
**** NOT PLOTTABLE-UNDEFINED LOCATION ****
- RIGHTS OF THE PUBLIC IN AND TO THAT PORTION OF THE LAND LYING WITHIN ANY ROAD, STREET, ALLEY OR HIGHWAY.
**** RAILROAD AND SANTA FE RIGHT OF WAY DEPICTED, AS SHOWN HEREON. ****

LEGEND

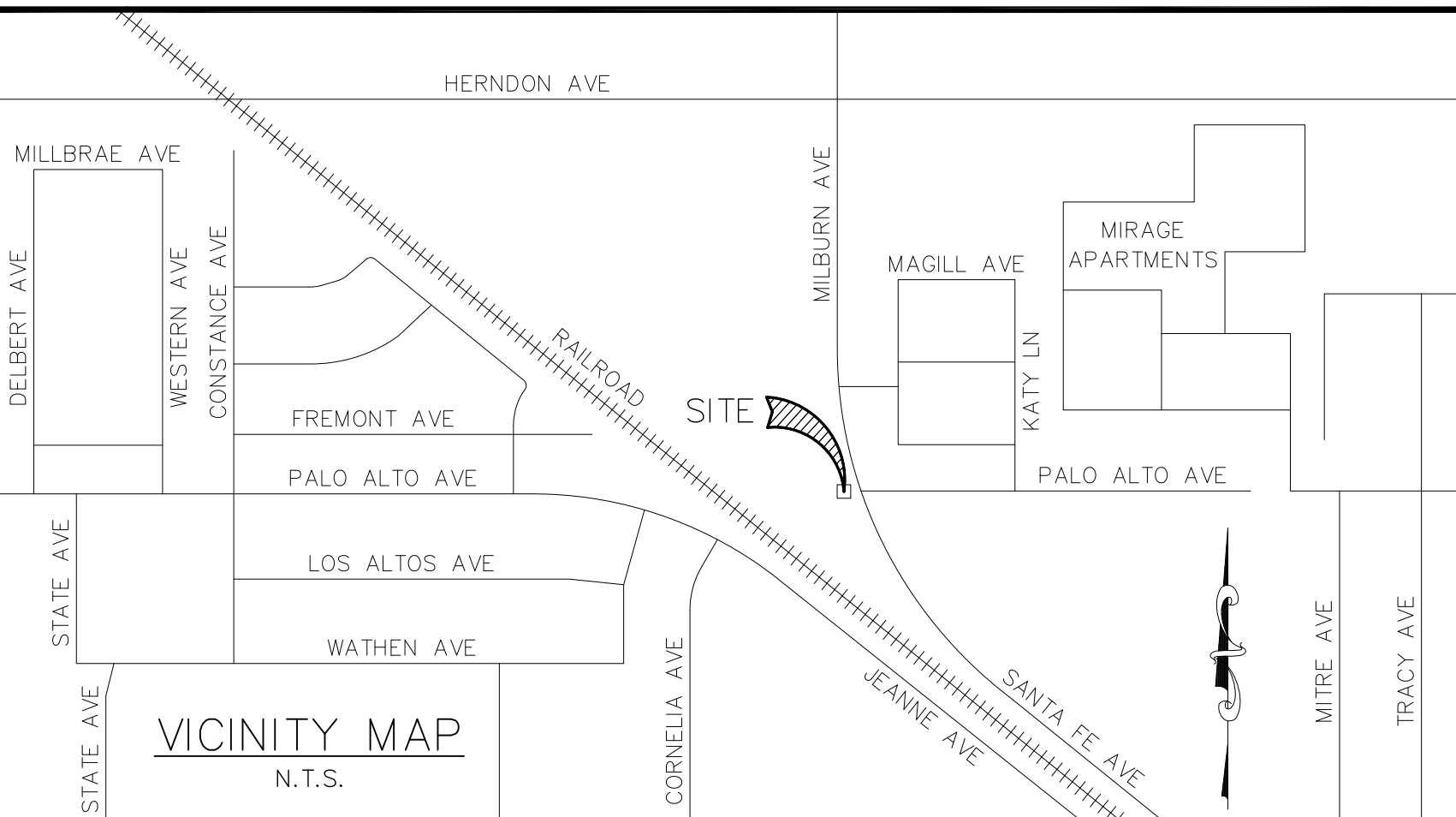
- SITE BOUNDARY LINE
- OVERHEAD UTILITY LINES
- PROPERTY LINE (PER RECORD)
- UNDERGROUND ELEC
- UNDERGROUND GAS
- UNDERGROUND COMMUNICATION
- UNDERGROUND WATER
- UNKNOWN UNDERGROUND UTILITY
- POWER POLE
- /// GROUND ELEVATION
- EDGE OF PAVEMENT
- P.O.B.
- P.O.C.
- ① POINT OF BEGINNING
- ② POINT OF COMMENCEMENT
- ③ EXCEPTION #
- CONCRETE PAD



OVERALL SITE MAP
 SCALE: 1" = 40'

SMITHCO
 SURVEYING ENGINEERING

P.O. BOX 81626 BAKERSFIELD, CA 93380
 PHONE: (661) 393-1217 FAX: (661) 393-1218



ISSUE STATUS			
REV	DATE	DESCRIPTION	BY
0	10/25/17	PRELIMINARY	SL
1	10/26/17	TITLE REVIEWED	DL
2	11/1/17	LEASE & EASEMENTS	DL
3	04/03/18	LEASE & EASEMENTS	DA
4	01/16/19	REDLINES	SL
5	04/09/19	ADD DIMS	DA

SMITHCO JOB NO.: 82-922

SAC WIRELESS
 ENGINEERING GROUP
 5015 SHOREHAM PL. SUITE 150
 SAN DIEGO, CA 92122
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 619.736.3766

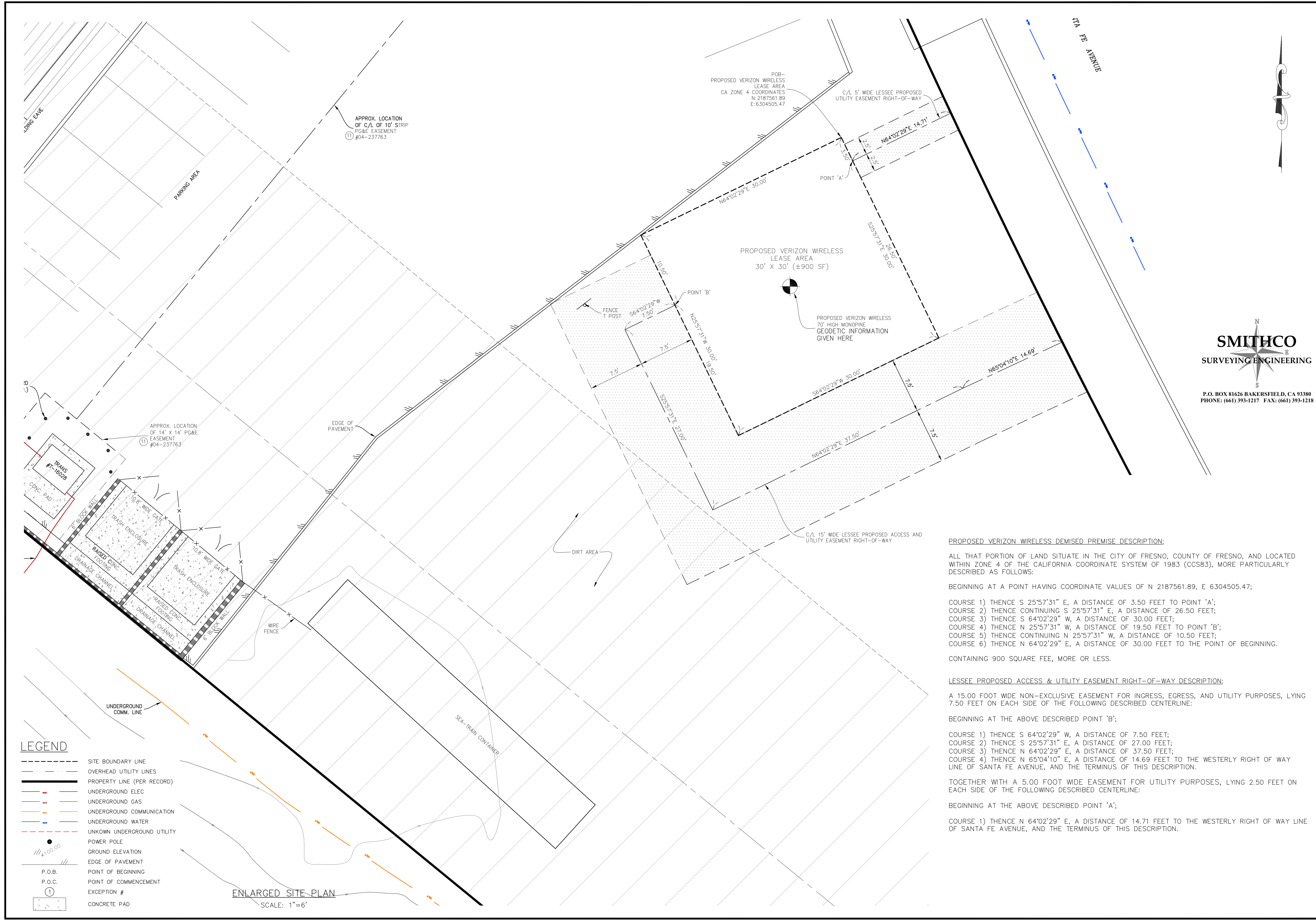
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verizon
 2785 MITCHELL DRIVE, BLDG 9
 WALNUT CREEK, CA 94598

451938
SANTA FE & W SIERRA
 6575 N. SANTA FE AVE.
 FRESNO, CA 93722
 FRESNO COUNTY

SHEET TITLE:
SITE SURVEY
 FOR EXAMINATION ONLY

C-1



LEGEND

- SITE BOUNDARY LINE
- OVERHEAD UTILITY LINES
- PROPERTY LINE (PER RECORD)
- UNDERGROUND ELEC
- UNDERGROUND GAS
- UNDERGROUND COMMUNICATION
- UNDERGROUND WATER
- UNKNOWN UNDERGROUND UTILITY
- POWER POLE
- /// GROUND ELEVATION
- EDGE OF PAVEMENT
- P.O.B. POINT OF BEGINNING
- P.O.C. POINT OF COMMENCEMENT
- ① EXCEPTION #
- CONCRETE PAD

ENLARGED SITE PLAN
SCALE: 1"=6'

ISSUE STATUS

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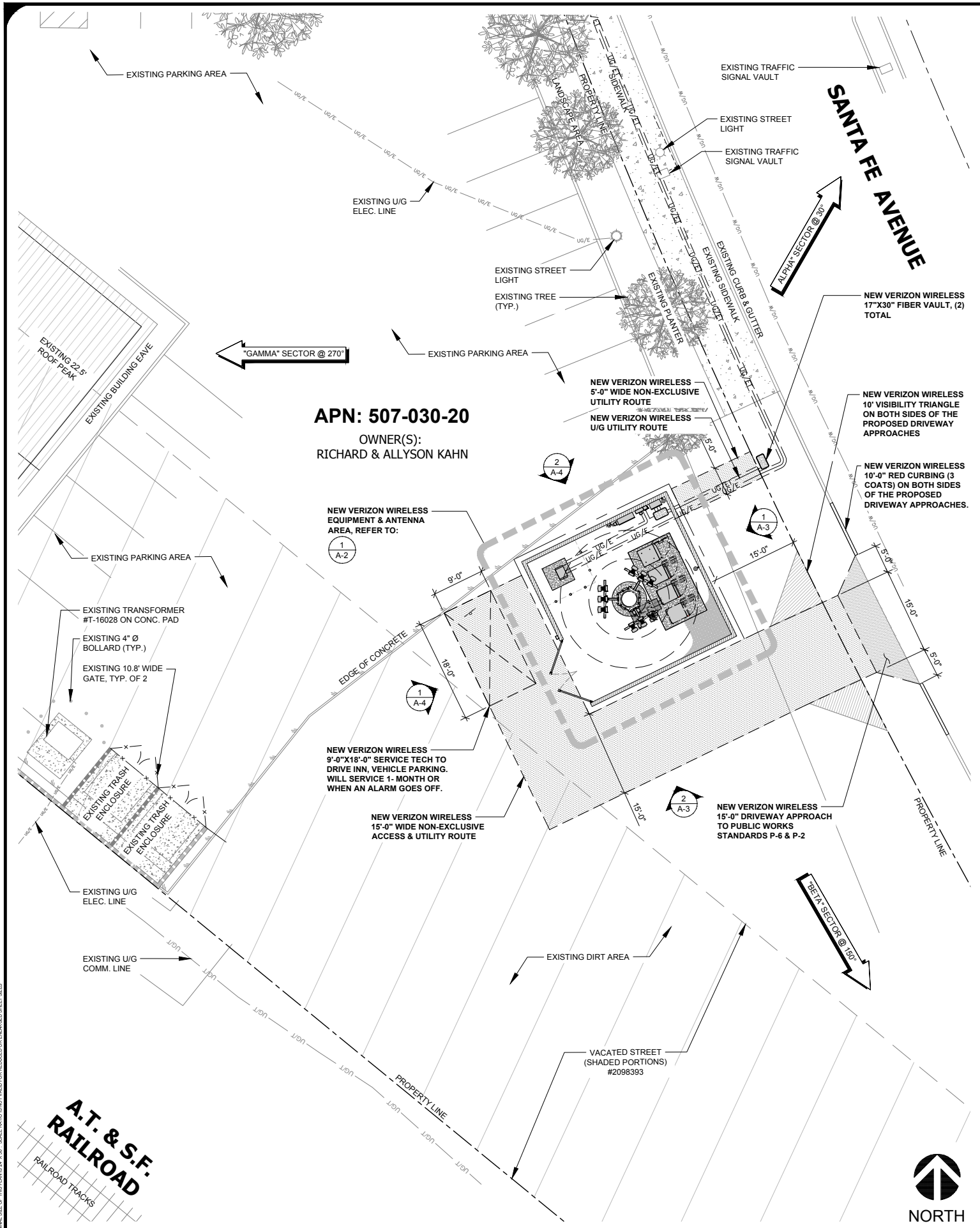
PROPOSED VERIZON WIRELESS DEMISED PREMISE DESCRIPTION:
ALL THAT PORTION OF LAND SITUATE IN THE CITY OF FRESNO, COUNTY OF FRESNO, AND LOCATED WITHIN ZONE 4 OF THE CALIFORNIA COORDINATE SYSTEM OF 1983 (CCS83), MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT A POINT HAVING COORDINATE VALUES OF N 2187561.89, E 6304505.47;
COURSE 1) THENCE S 25°57'31" E, A DISTANCE OF 3.50 FEET TO POINT 'A';
COURSE 2) THENCE CONTINUING S 25°57'31" E, A DISTANCE OF 26.50 FEET;
COURSE 3) THENCE S 64°02'29" W, A DISTANCE OF 30.00 FEET;
COURSE 4) THENCE N 25°57'31" W, A DISTANCE OF 19.50 FEET TO POINT 'B';
COURSE 5) THENCE CONTINUING N 25°57'31" W, A DISTANCE OF 10.50 FEET;
COURSE 6) THENCE N 64°02'29" E, A DISTANCE OF 30.00 FEET TO THE POINT OF BEGINNING.
CONTAINING 900 SQUARE FEE, MORE OR LESS.

LESSEE PROPOSED ACCESS & UTILITY EASEMENT RIGHT-OF-WAY DESCRIPTION:
A 15.00 FOOT WIDE NON-EXCLUSIVE EASEMENT FOR INGRESS, EGRESS, AND UTILITY PURPOSES, LYING 7.50 FEET ON EACH SIDE OF THE FOLLOWING DESCRIBED CENTERLINE:
BEGINNING AT THE ABOVE DESCRIBED POINT 'B';
COURSE 1) THENCE S 64°02'29" W, A DISTANCE OF 7.50 FEET;
COURSE 2) THENCE S 25°57'31" E, A DISTANCE OF 27.00 FEET;
COURSE 3) THENCE N 64°02'29" E, A DISTANCE OF 37.50 FEET;
COURSE 4) THENCE N 65°04'10" E, A DISTANCE OF 14.69 FEET TO THE WESTERLY RIGHT OF WAY LINE OF SANTA FE AVENUE, AND THE TERMINUS OF THIS DESCRIPTION.
TOGETHER WITH A 5.00 FOOT WIDE EASEMENT FOR UTILITY PURPOSES, LYING 2.50 FEET ON EACH SIDE OF THE FOLLOWING DESCRIBED CENTERLINE:
BEGINNING AT THE ABOVE DESCRIBED POINT 'A';
COURSE 1) THENCE N 64°02'29" E, A DISTANCE OF 14.71 FEET TO THE WESTERLY RIGHT OF WAY LINE OF SANTA FE AVENUE, AND THE TERMINUS OF THIS DESCRIPTION.

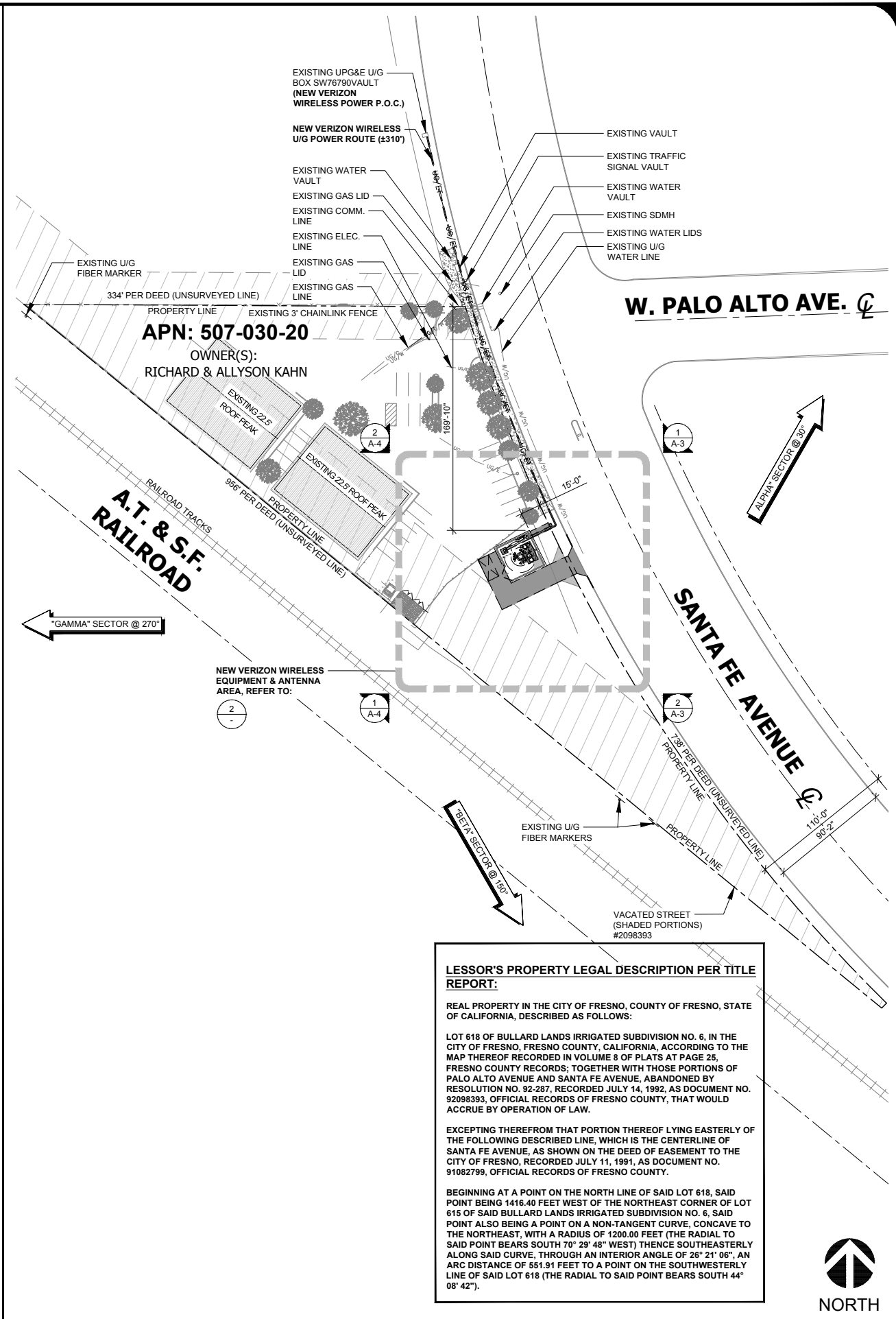
451938
SANTA FE & W SIERRA
6575 N. SANTA FE AVE.
FRESNO, CA 93722
FRESNO COUNTY

SHEET TITLE:
SITE SURVEY
FOR EXAMINATION ONLY

C-2



ENLARGED SITE PLAN
 SCALE: 3/32" = 1'-0" (24x36)
 (OR) 3/64" = 1'-0" (11x17)
2



SITE PLAN
 SCALE: 1" = 50'-0" (24x36)
 (OR) 1/2" = 50'-0" (11x17)
1

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5	04/16/19	100% ZONING	FA

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 www.sacw.com
 619.736.3766

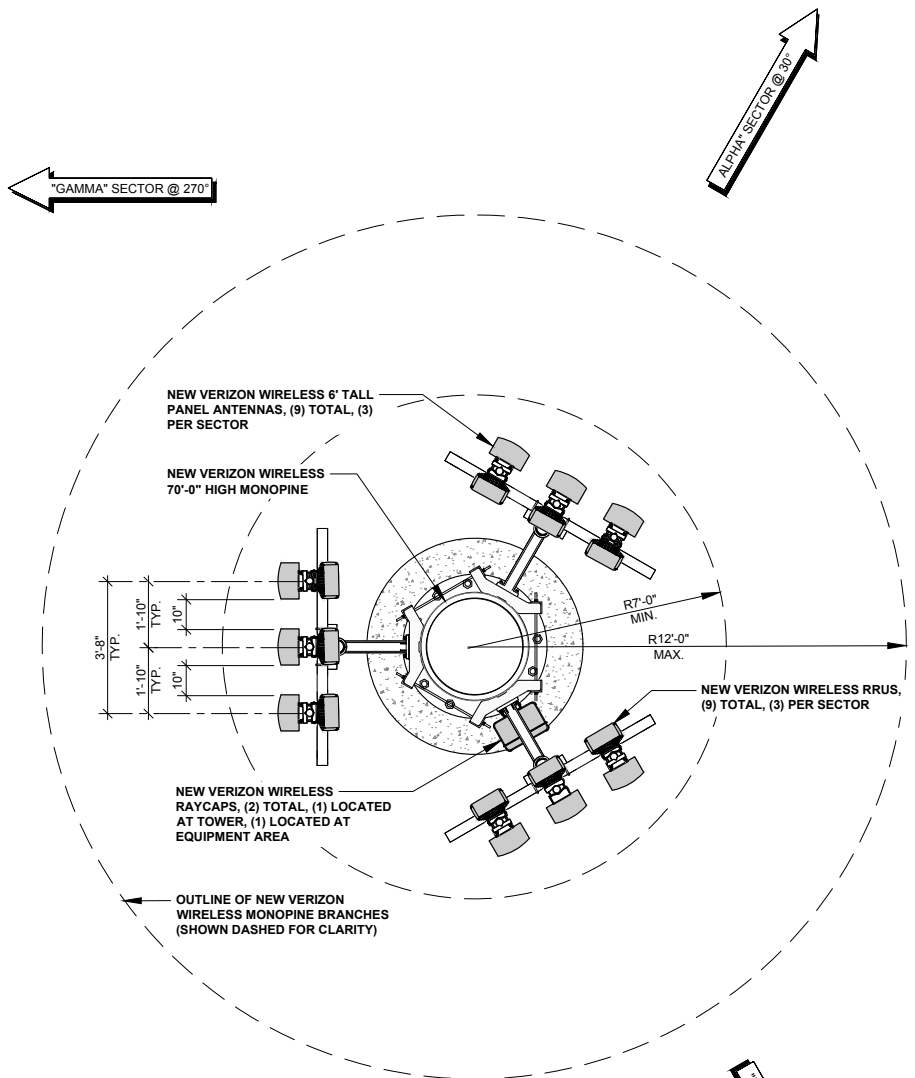
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SANTA FE & W SIERRA
PSL# 451938
 6575 N. SANTA FE AVE.
 FRESNO, CA 93722

SHEET TITLE:
SITE PLAN & ENLARGED SITE PLAN

A-1

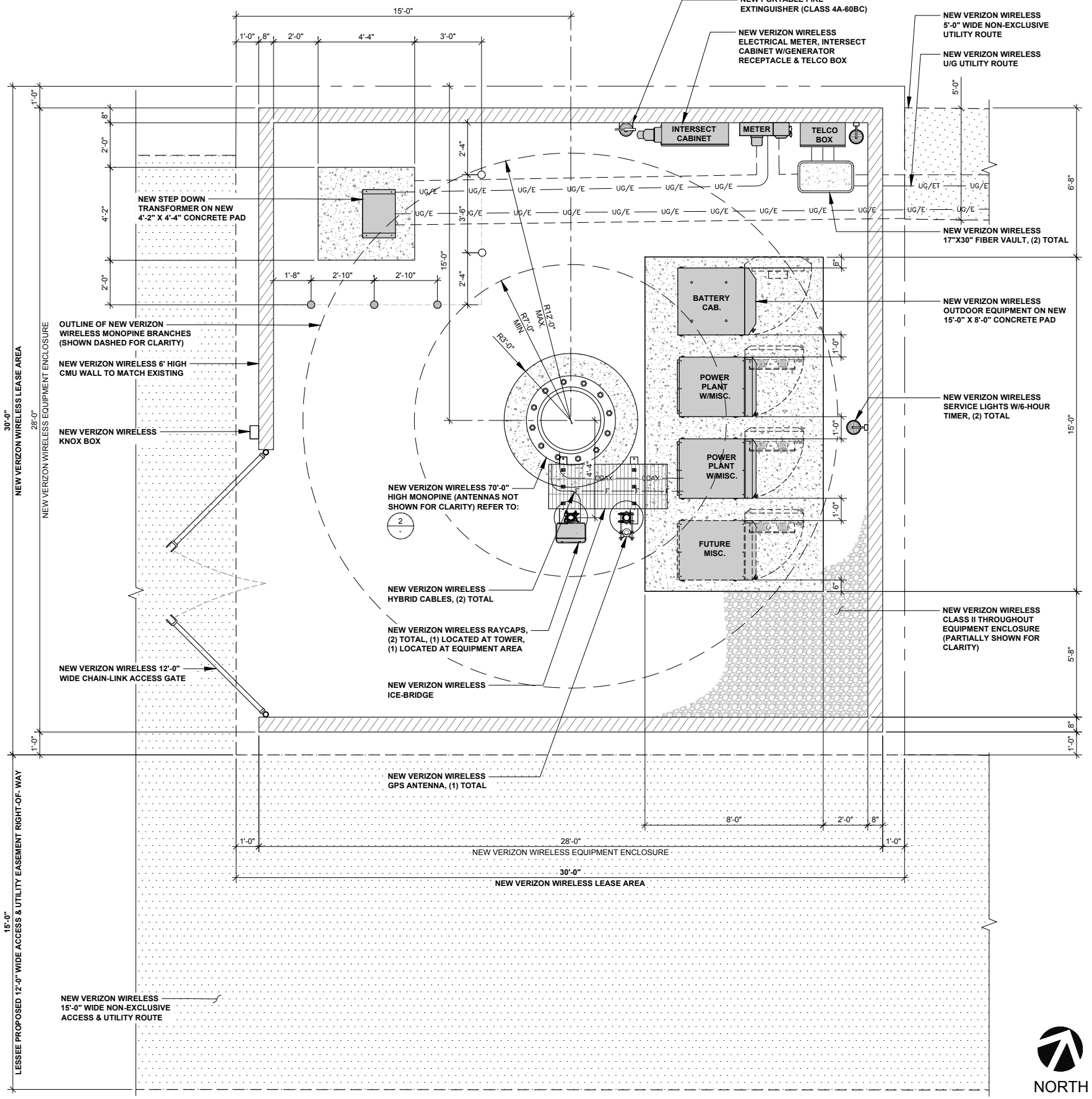


**PANEL ANTENNAS
@ 61'-0" CENTERLINE**



PANEL ANTENNA LAYOUT

SCALE: 3/8" = 1'-0" (24x36)
(OR) 3/16" = 1'-0" (11x17) **2**



EQUIPMENT LAYOUT

SCALE: 3/8" = 1'-0" (24x36)
(OR) 3/16" = 1'-0" (11x17) **1**

ISSUE STATUS

REV.	DATE	DESCRIPTION	BY
0	11/21/17	90% ZONING	FA
1	04/03/18	100% ZONING	FA
2	04/24/18	100% ZONING	FA
3	03/22/19	100% ZONING	FA
4	04/03/19	100% ZONING	FA
5	04/16/19	100% ZONING	FA



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SIERRA
PSL# 451938**
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FRESNO, CA 93722

SHEET TITLE:
**EQUIPMENT &
ANTENNA LAYOUTS**

A-2

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE INTO DIMENSIONS FOR REDUCED OR ENLARGED SHEET SIZES.

ISSUE STATUS

REV.	DATE	DESCRIPTION	BY
0	11/21/17	90% ZONING	FA
1	04/03/18	100% ZONING	FA
2	04/24/18	100% ZONING	FA
3	03/22/19	100% ZONING	FA
4	04/03/19	100% ZONING	FA
5	04/16/19	100% ZONING	FA



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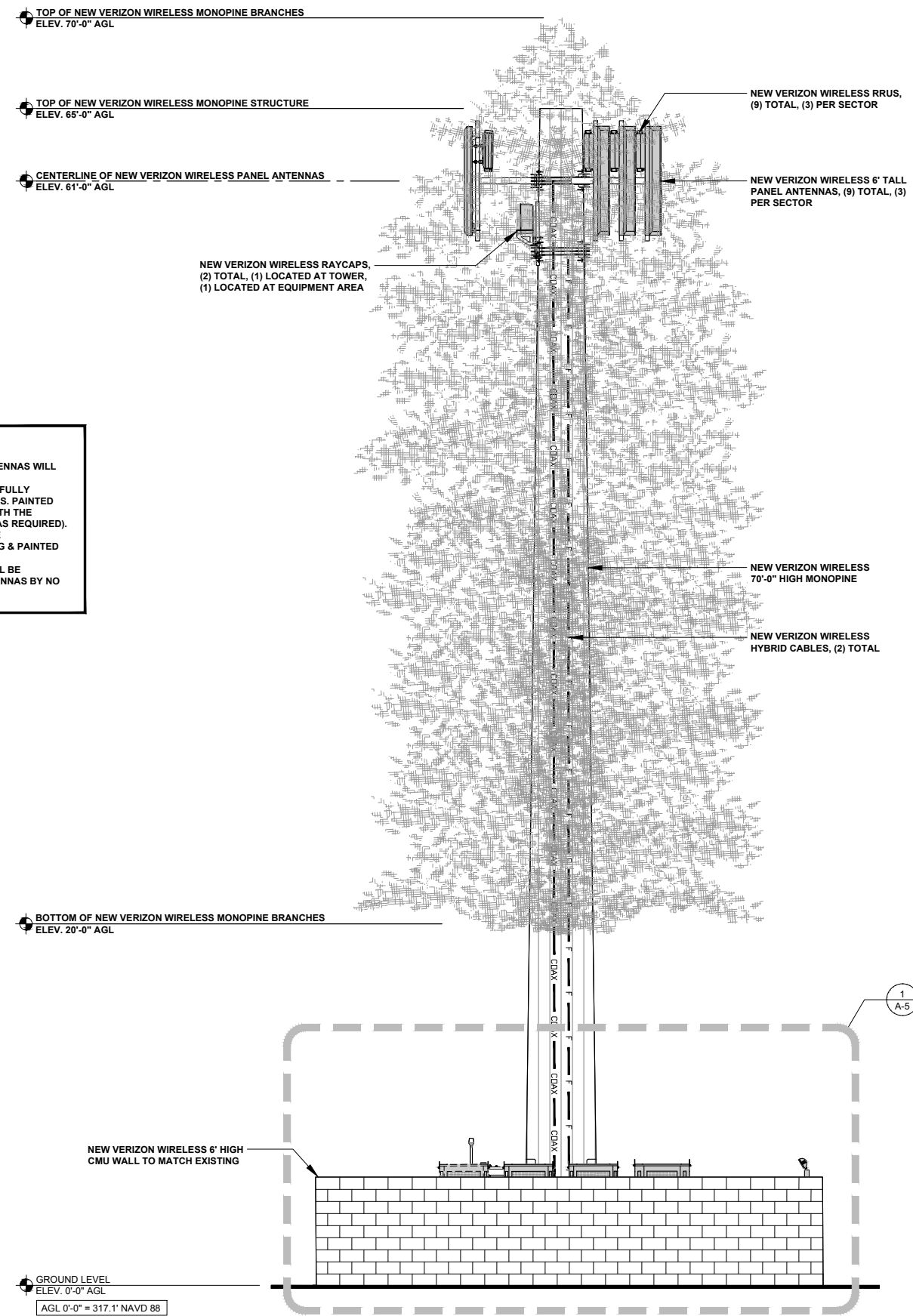
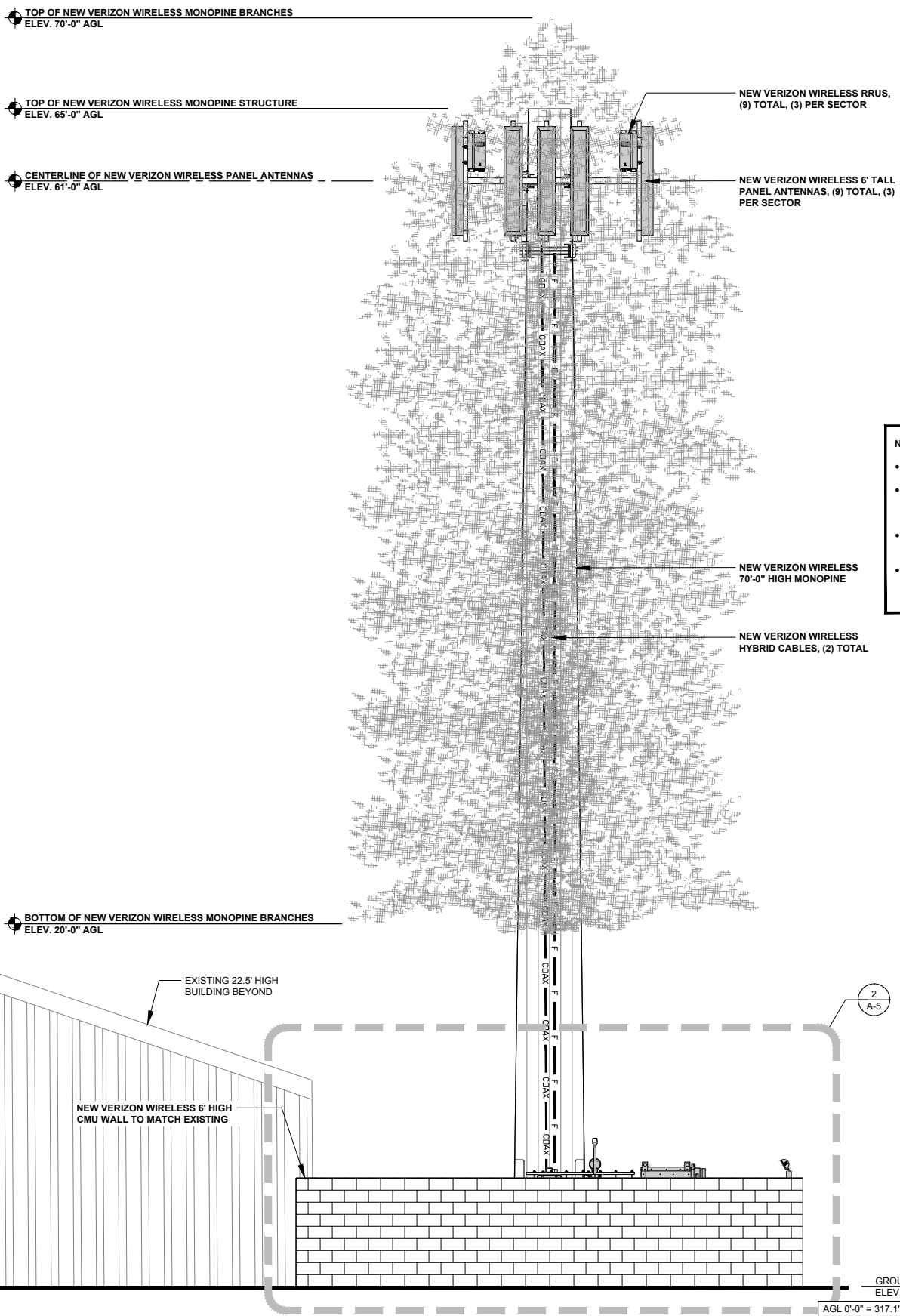


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**SANTA FE & W
 SIERRA
 PSL# 451938**
 6575 N. SANTA FE AVE.
 FRESNO, CA 93722

SHEET TITLE:
**NORTHEAST & SOUTHEAST
 ELEVATIONS**

A-3



- NOTES:**
- NEW VERIZON WIRELESS ANTENNAS WILL BE COVERED BY SOCKS
 - RRUS AND RAYCAPS WILL BE FULLY HIDDEN WITHIN THE BRANCHES. PAINTED OR COLORED TO BLEND IN WITH THE BRANCHES (FLAT GREEN OR AS REQUIRED).
 - THE TRUNK WILL HAVE THREE DIMENSIONAL BARK CLADDING & PAINTED A FLAT BROWN.
 - THE SCREENING FOLIAGE WILL BE EXTENDED BEYOND ALL ANTENNAS BY NO LESS THAN 24 INCHES.

NOTE: THE ORIGINAL SIZE OF THIS DRAWING IS 24" X 36". SCALE INTO SHEET VALID FOR REDUCED OR ENLARGED SHEET SIZES.

SOUTHEAST ELEVATION

0 1' 2' 4' SCALE: 1/4" = 1'-0" (24x36)
 (OR) 1/8" = 1'-0" (11x17)

2

NORTHEAST ELEVATION

0 1' 2' 4' SCALE: 1/4" = 1'-0" (24x36)
 (OR) 1/8" = 1'-0" (11x17)

1

ISSUE STATUS

REV.	DATE	DESCRIPTION	BY
0	11/21/17	90% ZONING	FA
1	04/03/18	100% ZONING	FA
2	04/24/18	100% ZONING	FA
3	03/22/19	100% ZONING	FA
4	04/03/19	100% ZONING	FA
5	04/16/19	100% ZONING	FA



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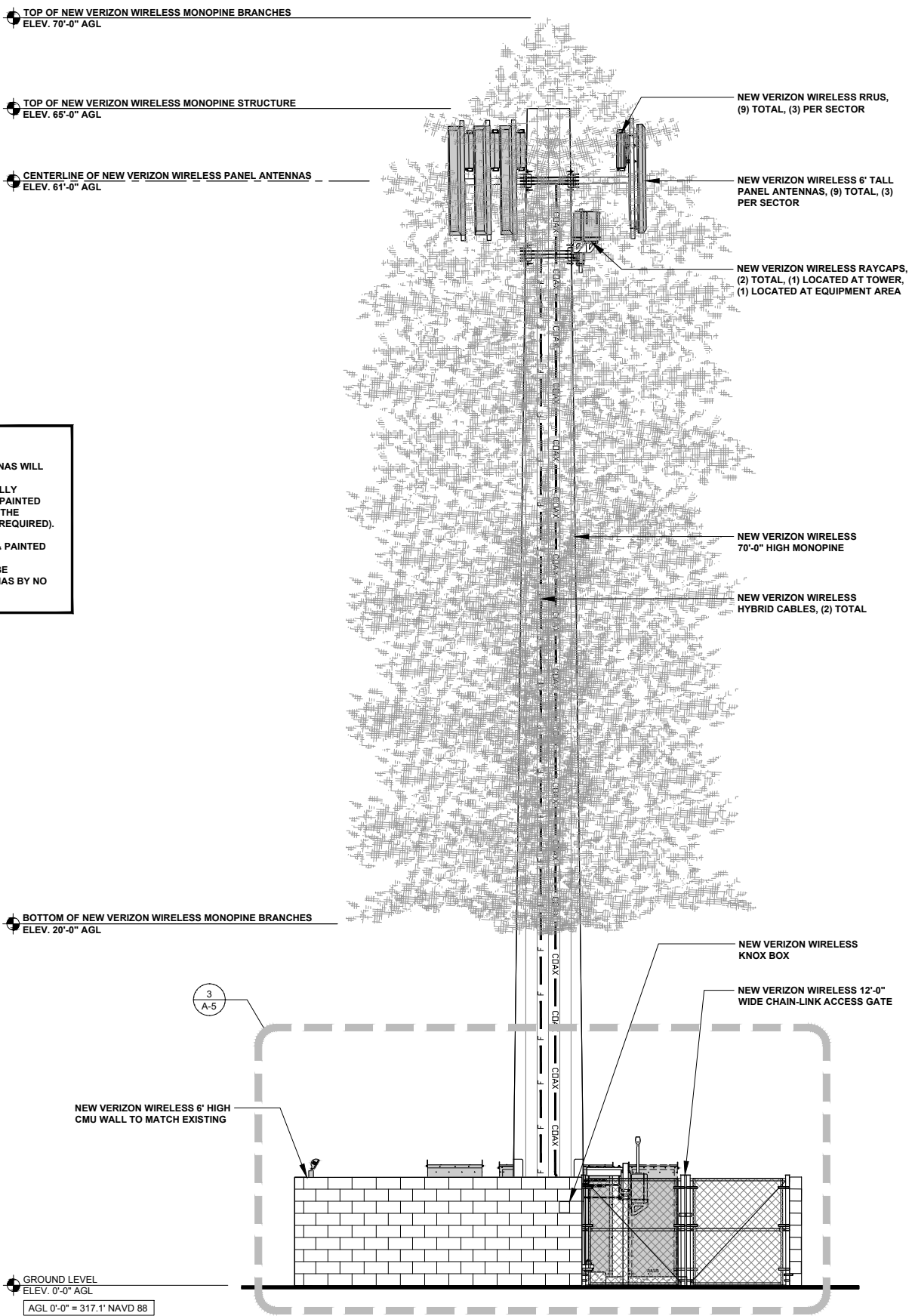
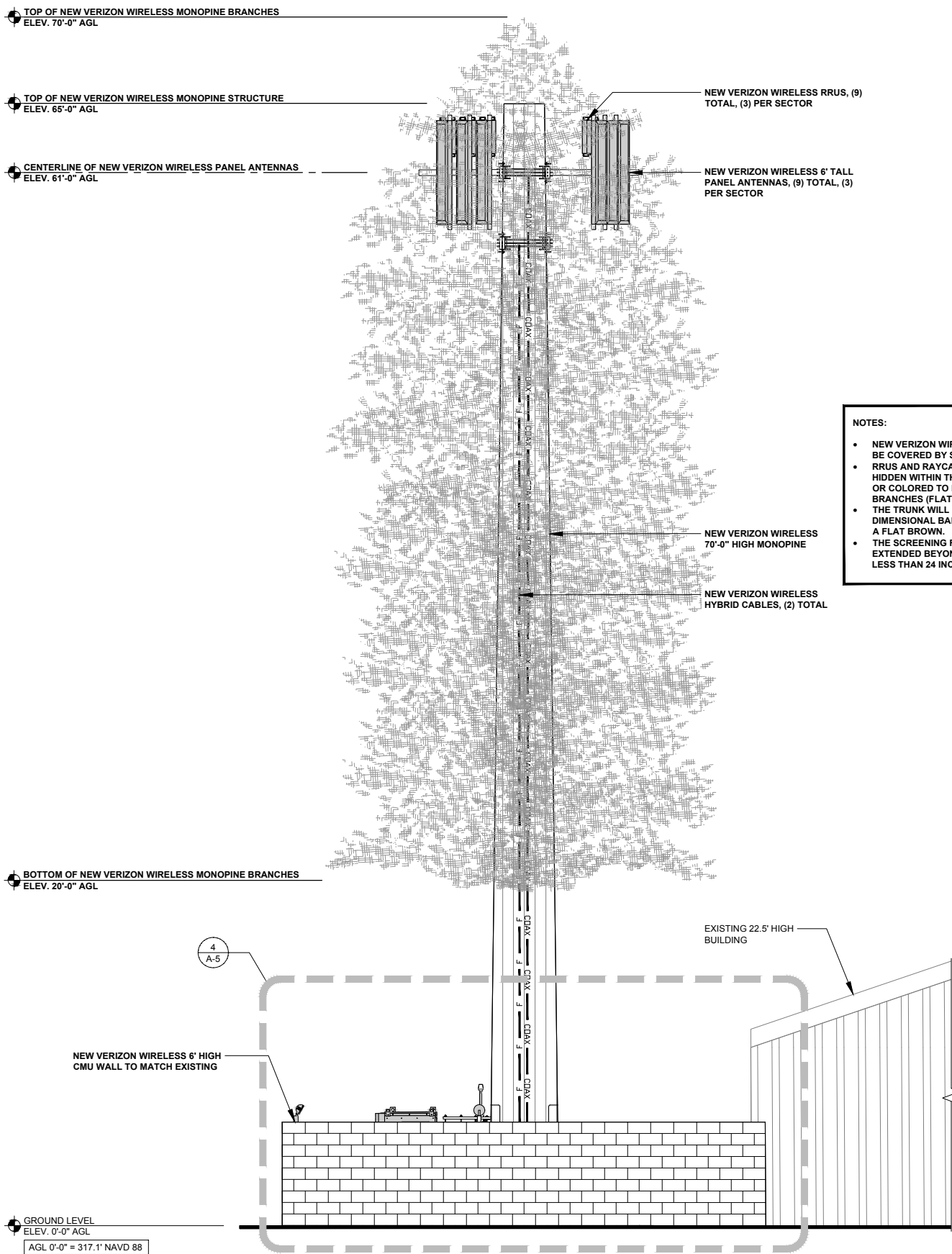


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 SIERRA**
PSL# 451938
 6575 N. SANTA FE AVE.
 FRESNO, CA 93722

SHEET TITLE:
**SOUTHWEST & NORTHWEST
 ELEVATIONS**

A-4



NOTES:

- NEW VERIZON WIRELESS ANTENNAS WILL BE COVERED BY SOCKS
- RRUS AND RAYCAPS WILL BE FULLY HIDDEN WITHIN THE BRANCHES. PAINTED OR COLORED TO BLEND IN WITH THE BRANCHES (FLAT GREEN OR AS REQUIRED).
- THE TRUNK WILL HAVE THREE DIMENSIONAL BARK CLADDING & PAINTED A FLAT BROWN.
- THE SCREENING FOLIAGE WILL BE EXTENDED BEYOND ALL ANTENNAS BY NO LESS THAN 24 INCHES.

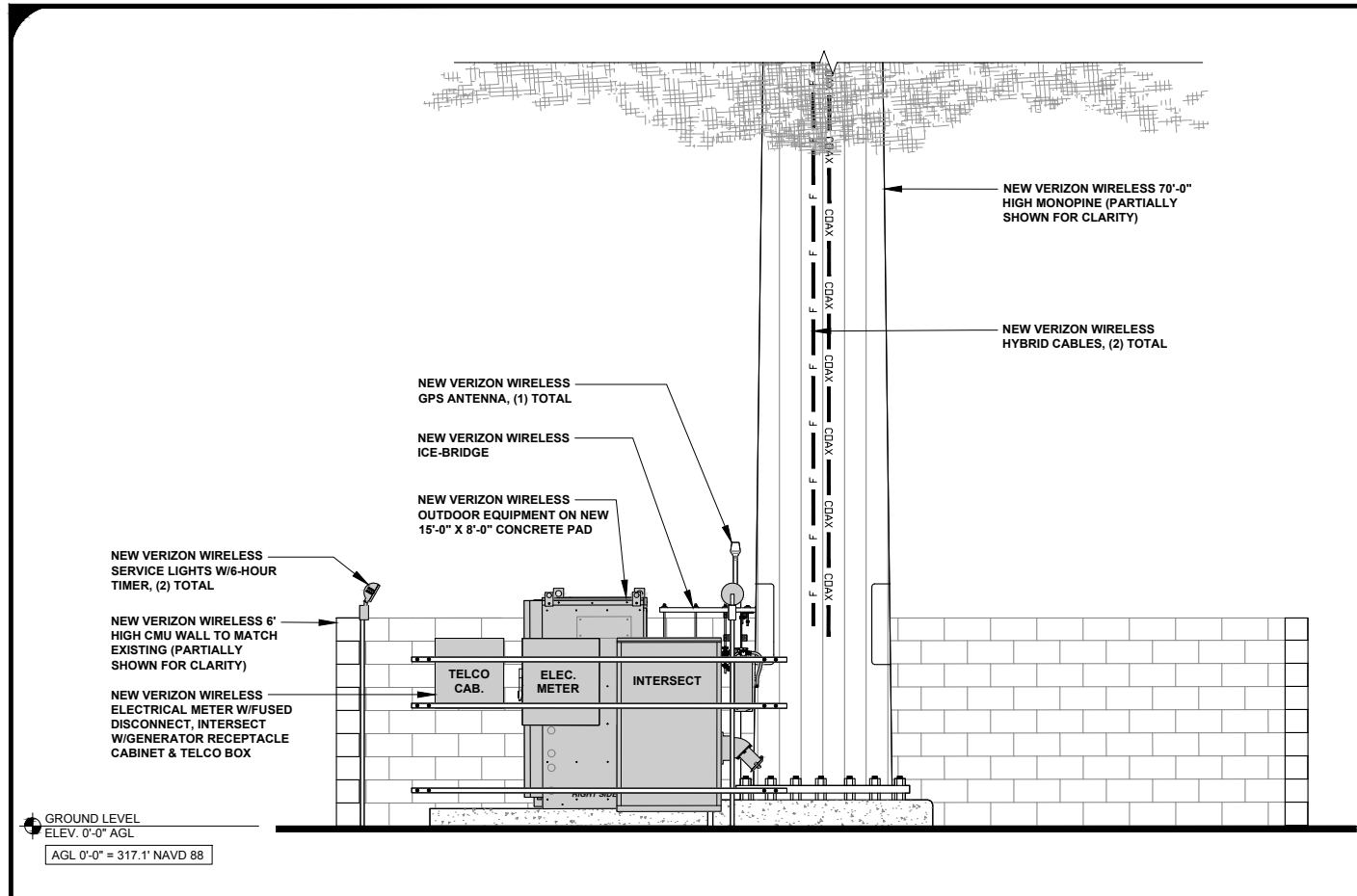
NOTE: THE ORIGINAL SIZE OF THIS DRAWING IS 24" X 36". SCALE INTO BOUND (NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES)

NORTHWEST ELEVATION

0 1' 2' 4' SCALE: 1/4" = 1'-0" (24x36)
 (OR) 1/8" = 1'-0" (11x17) **2**

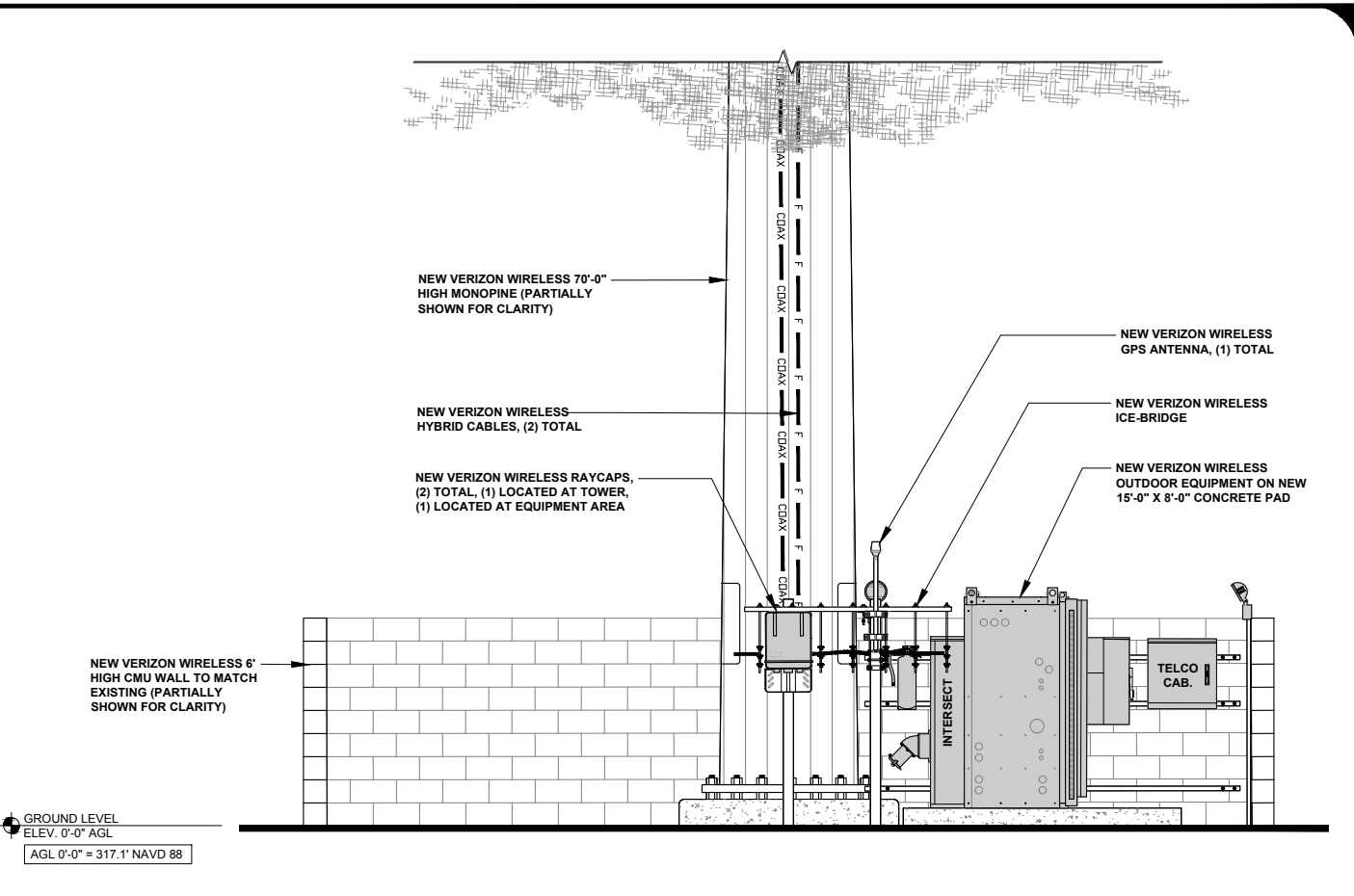
SOUTHWEST ELEVATION

0 1' 2' 4' SCALE: 1/4" = 1'-0" (24x36)
 (OR) 1/8" = 1'-0" (11x17) **1**



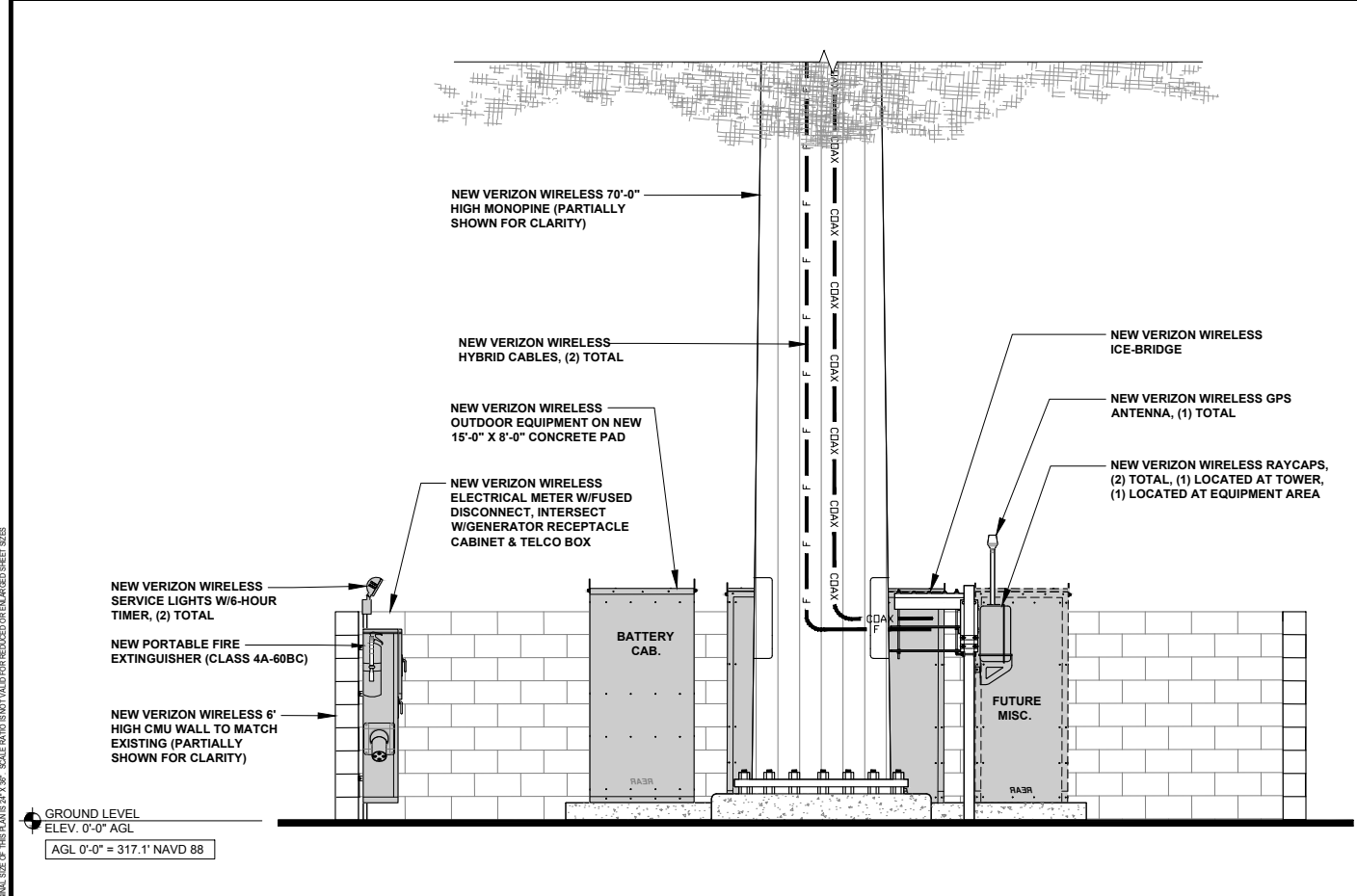
NORTHWEST EQUIPMENT ELEVATION

0 1' 2' 3' SCALE: 3/8" = 1'-0" (24x36)
(OR) 3/16" = 1'-0" (11x17) **4**



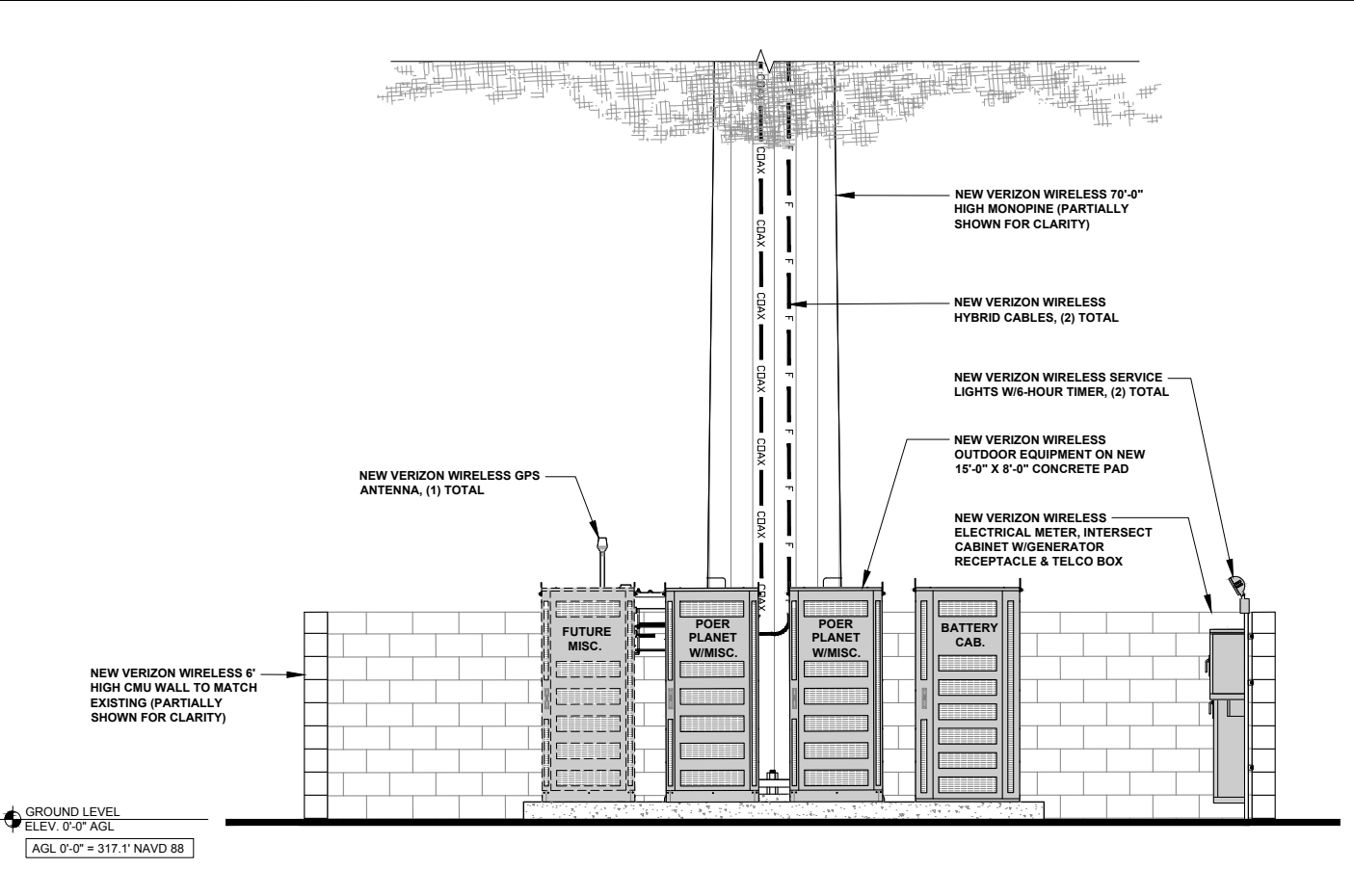
SOUTHEAST EQUIPMENT ELEVATION

0 1' 2' 3' SCALE: 3/8" = 1'-0" (24x36)
(OR) 3/16" = 1'-0" (11x17) **2**



SOUTHWEST EQUIPMENT ELEVATION

0 1' 2' 3' SCALE: 3/8" = 1'-0" (24x36)
(OR) 3/16" = 1'-0" (11x17) **3**



NORTHEAST EQUIPMENT ELEVATION

0 1' 2' 3' SCALE: 3/8" = 1'-0" (24x36)
(OR) 3/16" = 1'-0" (11x17) **1**

ISSUE STATUS			
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2	04/24/18	100% ZONING	FA
3	03/22/19	100% ZONING	FA
4	04/03/19	100% ZONING	FA
5	04/16/19	100% ZONING	FA

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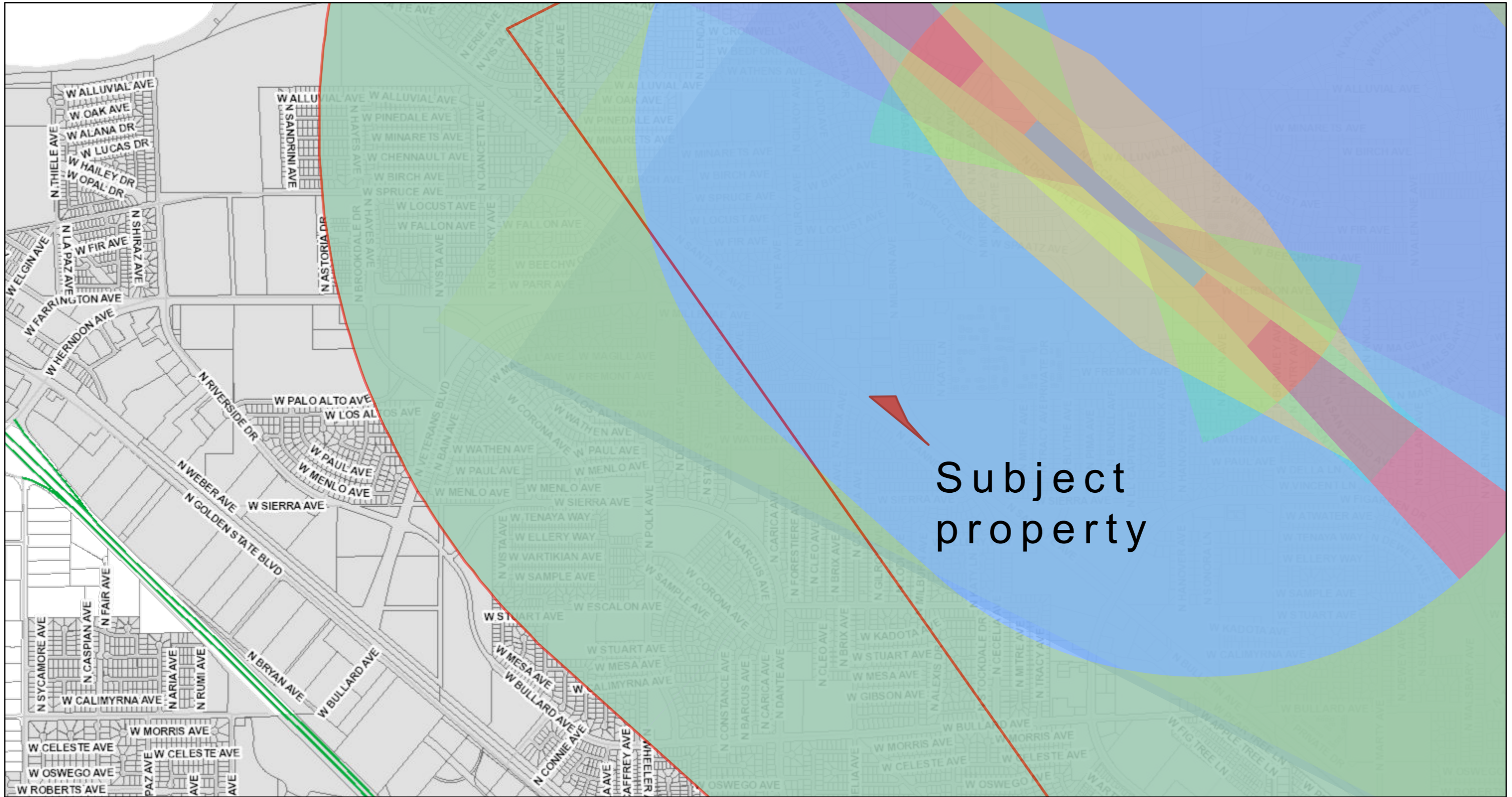
PSL# 451938
6575 N. SANTA FE AVE.
FRESNO, CA 93722

SHEET TITLE:
EQUIPMENT ELEVATIONS

A-5

NOTE: THE ORIGINAL SIZE OF THIS DRAWING IS 36" X 48". SCALE INTO PRINT (VALID FOR REDUCED OR ENLARGED SHEET SIZES)

CITY OF FRESNO -P19-00809

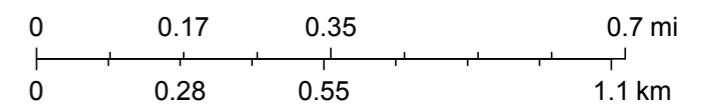


Subject property

6/16/2019 10:22:33 AM

1:18,056

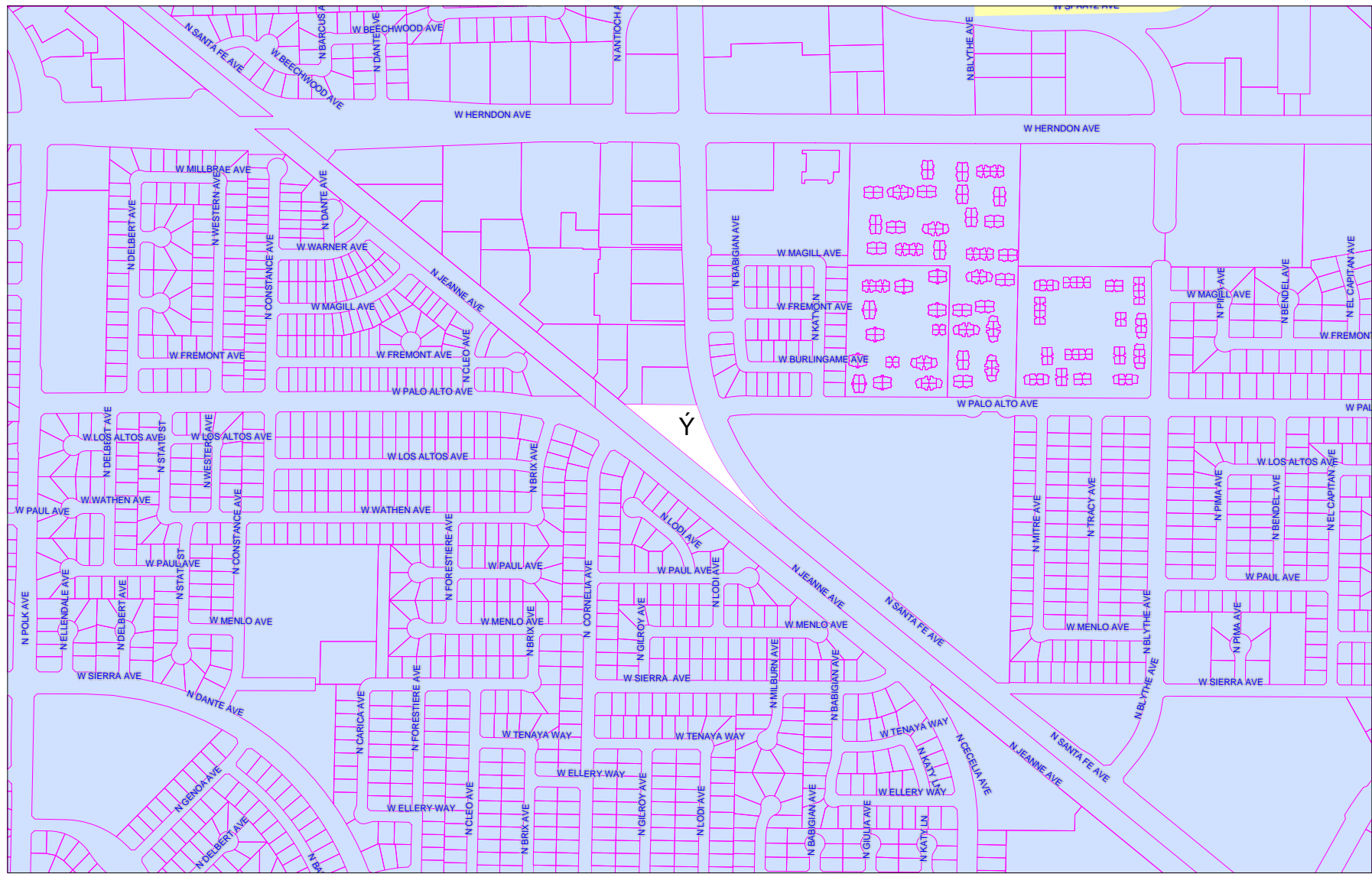
- | | | | |
|------------------------|--------------------------|--|--------------------------------------|
| Override 1 | 70 CNEL | SSP Conical Surface | SSP Zone 6 - Traffic Pattern Zone |
| Parcel Data | 75 CNEL | SSP Zone 1 - Runway Protection Zone | SSP Runway |
| Airport Influence Area | SSP Primary Surface | SSP Zone 2 - Inner Approach Departure Zone | FAT 11LR Transitional Surface |
| SSP CNEL | SSP Approach Surface | SSP Zone 3 - Inner Turning Zone | FAT 11LR Outer Approach Surface |
| 60 CNEL | SSP Transitional Surface | SSP Zone 4 - Outer Approach Departure Zone | FAT Zone 7 - Precision Approach Zone |
| 65 CNEL | SSP Horizontal Surface | SSP Zone 5 - Sideline Zone | |



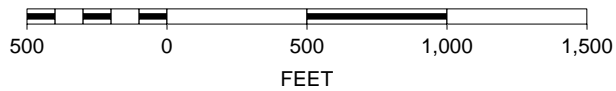
City of Fresno

P19-00809

— State Roads
— Parcels
 Parcels
 City Limits
 Fresno County



SCALE 1 : 8,212



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