

2600 Fresno Street, Third Floor
Fresno, CA 93721-3604
(559) 621-8277 FAX (559) 498-1026

Jennifer K. Clark, AICP, Director

July 19, 2019

Please reply to:
Jose Valenzuela
559-621-8070
Jose.Valenzuela@fresno.gov

SUBJECT: REVIEW BY AIRPORT LAND USE COMMISSION OF ANNEXATION APPLICATION NO. P18-03263, PREZONE APPLICATION NO. P18-03443, PLANNED DEVELOPMENT PERMIT APPLICATION NO. P18-03739 AND VESTING TENTATIVE TRACT MAP NO. 6224 (P18-03724) FOR PROPERTY LOCATED AT 2840 NORTH TEMPERANCE AVENUE (APN: 310-260-01 & -02)

To Whom It May Concern:

Andrea Weaver of Yamabe and Horn Engineering, on behalf of Lennar Homes of California, Inc., has filed Annexation Application No. P18-03263, Prezone Application No. P18-03443, Planned Development Permit Application No. P18-03739 and Vesting Tentative Tract Map No. T-6224 (P18-03724) pertaining to a total of ±57.3 acres of property located on the southeast corner of East Shields and North Temperance Avenues.

Annexation Application No. P18-03443 proposes to annex the subject property (±57.3 acres) and an additional ±11.94 acres of developed land from the County of Fresno into the City of Fresno.

Prezone Application No. P18-03443 proposes to prezone the Official Zoning Map of the City of Fresno to rezone the subject property from the Fresno County AE-20 (*Exclusive Agricultural*) (±57.3 acres) zone district to the RS-5 (*Residential Single Family, Medium Density*) (±34.30 acres) and RS-4 (*Residential Single Family, Medium Low Density*) (±23 acres) zone districts.

Planned Development Permit Application No. P19-01259 proposes to modify the RS-4 (*Residential Single Family, Medium Low Density*) and RS-5 (*Residential Single Family, Medium Density*) zone districts development standards to allow for reduced setbacks, reduced lot sizes and increased lot coverage for the proposed single family residences.

Tentative Tract Map No. 6224 (P18-03724) proposes to subdivide ±57.30 acres of the subject property for the purpose of creating a 349-lot single-family residential development.

The project will also require dedications and/or acquisitions for public street rights-of-way and utility easements as well as the construction of public facilities and infrastructure in accordance with the standards, specifications and policies of the City of Fresno in order to facilitate the future proposed development of the subject property.

August 5, 2019

Page 2

Sincerely,

A handwritten signature in blue ink, appearing to read "Jose Valenzuela".

Jose Valenzuela, Planner III
Development Services Division

Enclosures:

- ALUC Application
- Site Map
- Exhibits



12/18/18

To: Jose Valenzuela
City of Fresno, Development Services
2600 Fresno Street
Fresno, CA 93721
Jose.Valenzuela@fresno.gov

Lots 129 thru 280 also require the planned development approval of the proposed 65% lot coverage.

Subject: Planned Development Findings;
Tract No. 6224, Single Family Subdivision—Planned development
Southeast corner of East Shields Avenue and North Temperance Avenue

Lennar Homes is requesting a planned development on ~~a portion of~~ the tentative map for Tract No. 6224, in the City of Fresno, located along the southeast corner of East Shields Avenue and North Temperance Avenue. The total tract consists of approximately 57-acres and 349 single family lots. The portion for the planned development consists of 280 single family lots within 42.6-acres. Of the 349 lots within the planned development portion of the tract, 128 (1 thru 128) of the lots will be approximately 4000 square feet, with 8 -feet minimum front yard setbacks (18' min. to garage) and 5-foot minimum rear yard setbacks. The ~~next~~ 152 lots (129 thru 280) within the planned development will be approximately 3800 square feet, and will have reduced front yard setbacks of 8 -foot minimum (18' min. to garage) and rear yard setbacks ranging from 5-feet to 10-feet, the side yards shall remain at 5-feet. The remaining 14.6-acre portion of the subdivision consist of 68, 6000 square foot single family lots that are 60' wide by 100' deep. **The last 69 lots (281 thru 349) only require the planned development of the proposed 55% lot coverage.**

The property is located within the 2035 Fresno General Plan designation of Medium Density with a minimum 5-lots per acre to a maximum of 12-lots per acre; and Medium Low density residential, with a minimum 3.5-lots per acre to a maximum 6-lots per acre. The T-6224 tentative map has been designed to be in conformance with the City's General Plan density with 6.6-lots per net acre in the Medium Density areas, and 5.3-lots per acre within the Medium Low Density areas. The property is bounded to the East by Tract No. 5592, a single family subdivision under construction, North and West by existing single family homes in the 6000+ square foot range (60'x100'), and rural residential type lots to the South.

The property is physically suitable for the density as outlined by the 2035 General Plan for the area, as demonstrated, by the property lot layout.

As part of the overall tentative subdivision design, once the tract is constructed, East Shields Avenue will be built to the City's collector standard from North Temperance Avenue, east to the tracts east property line, where it will tie-in with Tract No. 5592 street improvements; North Temperance will be completed from the north property line (at Shields) to East Clinton Avenue as a Super Arterial street. Once these streets are completed, along with the intersection controls recommended in the traffic impact report prepared by Yamabe & Horn, the subdivision will have adequate transportation facilities, public utilities and public services. The planned development will not result in a reduction of public services for the area. This proposed planned development is consistent with the surrounding residential land uses and will not have an adverse effect in the area, and in fact once built out, the linear park, connecting trails layout and the infrastructure will enhance the services for the overall surrounding areas.

8080 N. Palm Ave. • Suite 110 • Fresno, CA 93711 • Office: 559-447-3400 • Fax: 559-447-3404



LENNAR.COM



Tract No. 6224 Planned Development Finding Continued.

The Planned Development as proposed, facilitates the implementation of the City's vision for the 2035 general plan, in achieving the required density for this 57-acre property. The lots and homes will be similar in nature, with more contemporary designs to what has been built in the immediate area in the past.

The 280-lot Planned Development portion of the tentative map proposed provides for larger mix of housing, home sizes, home types with varying size yards to insure a more affordable community that appeals to a wider variety of home buyer needs. The Planned Development gives the home buyer the option of purchasing a mainstream type of home with less annual expense on yard maintenance, water consumption, and property taxes.

The proposed public streets for the Planned Development help ensure that this project fits within the larger community and the surrounding areas, and the added density reduces the burden on each homeowners' CFD cost for the overall tract to maintain the infrastructure.

The proposed tentative tract map provides for a total of approximately 4.0% combined aggregate open space, trail system, and landscaping area for the entire 349-lot subdivision which exceeds the City's requirement of 2.5%. The Planned Development portion abuts the proposed park which is centrally located within the subdivision. The park's unique linear design and central location for the development, allow for functional outdoor use of the site, pedestrian connectivity to the public transportation areas and the neighborhood, and provides general aesthetic enjoyment for those who pass by the project. Additionally, the oversized park ensures that the area and the City reduce urban heat islands, reduce air pollution, and energy use.

The entire subdivision was designed to conform to City standards and implement elements and goals of the 2035 general plan, Fresno Metropolitan Flood Control District's master drainage plan, to take advantage of natural heating and cooling with lot orientation, providing additional open space area, and to fully utilizing infrastructure construction. The planned unit portion of Tract No. 6224 subdivision will integrate a wider array of home buying opportunities with traditional type homes, while also giving the homeowner a sense of community connectivity with homes that contribute to the creation of a complete diverse neighborhood.

Planned development portion recap:

- 42.6 acres, 280-lots
- Lots 100 through 128, 4000 Sq. Ft. Minimum, RS-5 zoning
- Lots 129 through 280, below 4000 Sq. Ft. RS-5 & RS-4 Zoning
- All homes will have 2-car garages, 18' from property line with roll-up doors.

Sincerely;

Jeff Callaway,
Project Manager
Lennar Homes of California, INC.

12/18/18 **Draft Revision 01/02/19 - Adam Lee P.E. (Yamabe & Horn Engineering)**

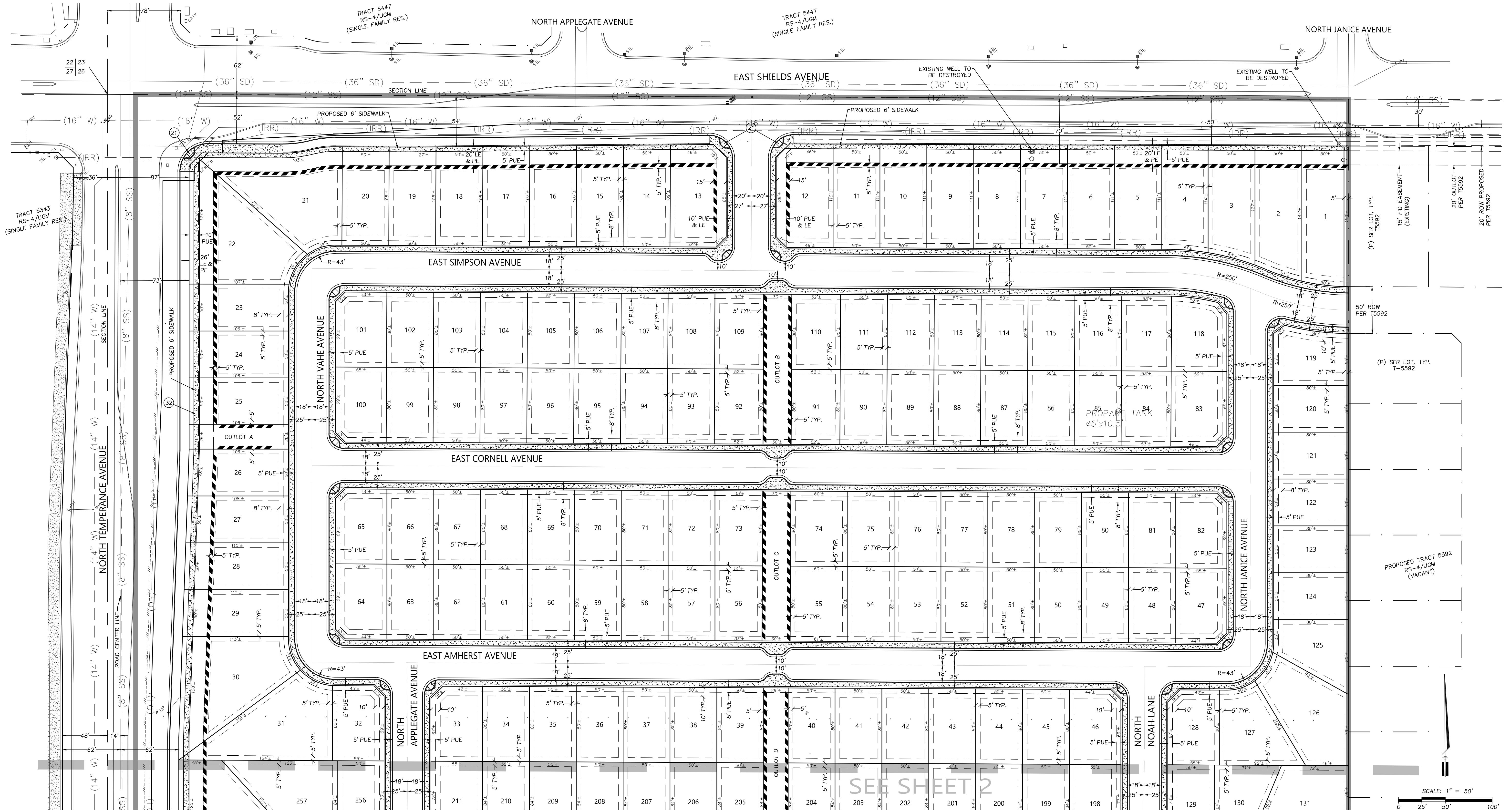
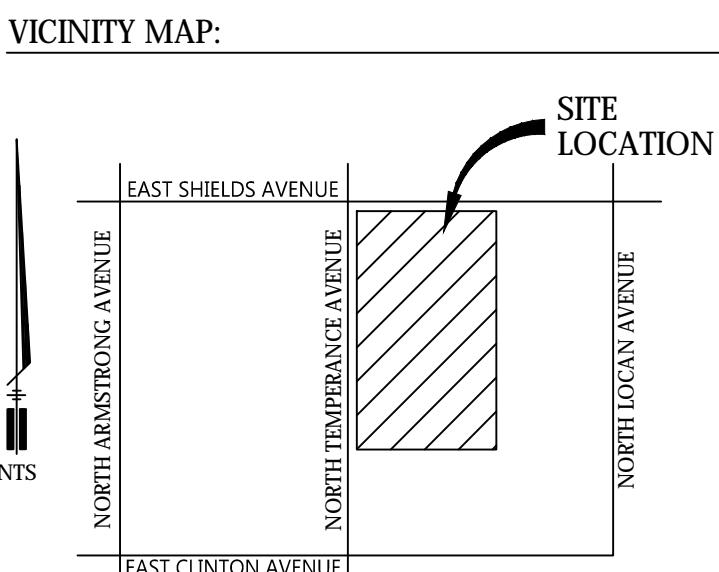


TRACT NO. 6224

RESIDENTIAL SITE PLAN REVIEW CITY OF FRESNO FRESNO COUNTY, CALIFORNIA

LEGEND:

- Existing Section Line
- Proposed Center Line
- Proposed Property Line
- Proposed Setback Line
- Existing Property Line
- Existing Right-of-Way Line
- Site Boundary Line
- Proposed Curb & Gutter
- Existing Curb & Gutter
- Proposed Sidewalk
- Proposed Block Wall



PREPARED BY:

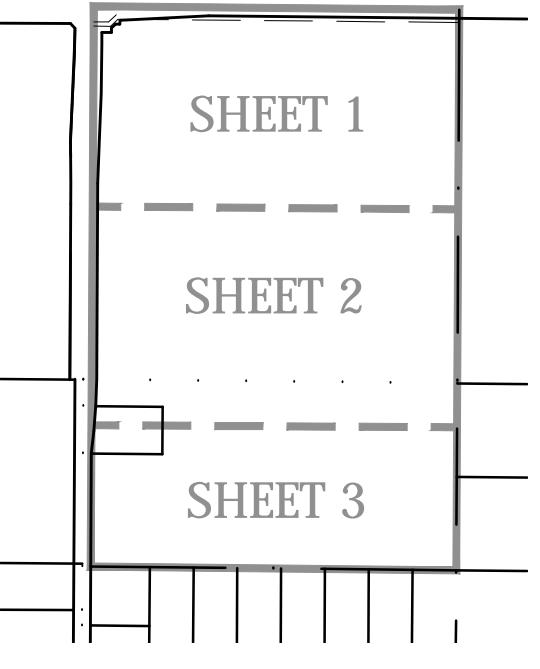
YAMABE & HORN ENGINEERING, INC.
2985 N. BURL AVE, SUITE 101
FRESNO, CALIFORNIA 93727
PH. (559) 244-3123

SUBDIVIDER

LENNAR HOMES OF CALIFORNIA
8080 N. PALM SUITE 101
FRESNO, CALIFORNIA 93711
PH. (559) 437-4600

OWNER

PATRICK VINCENT RICCHIUTI
TRUSTEE OF THE PATRICK VINCENT RICCHIUTI FAMILY TRUST
2917 E. SHEPHERD AVENUE
CLOVIS, CA 93619



KEY MAP:
NOT TO SCALE

**Yamabe & Horn
Engineering, Inc.**

CIVIL ENGINEERS • LAND SURVEYORS

2985 N. BURL AVENUE, SUITE 101 FRESNO, CA 93727

TEL: (559) 244-3123 WEBSITE: YAHENGINC.COM

TRACT 6224

RESIDENTIAL SITE PLAN REVIEW

PROJECT TITLE

SHEET DESCRIPTION

Dr. By: WZ

Ch. By: AL

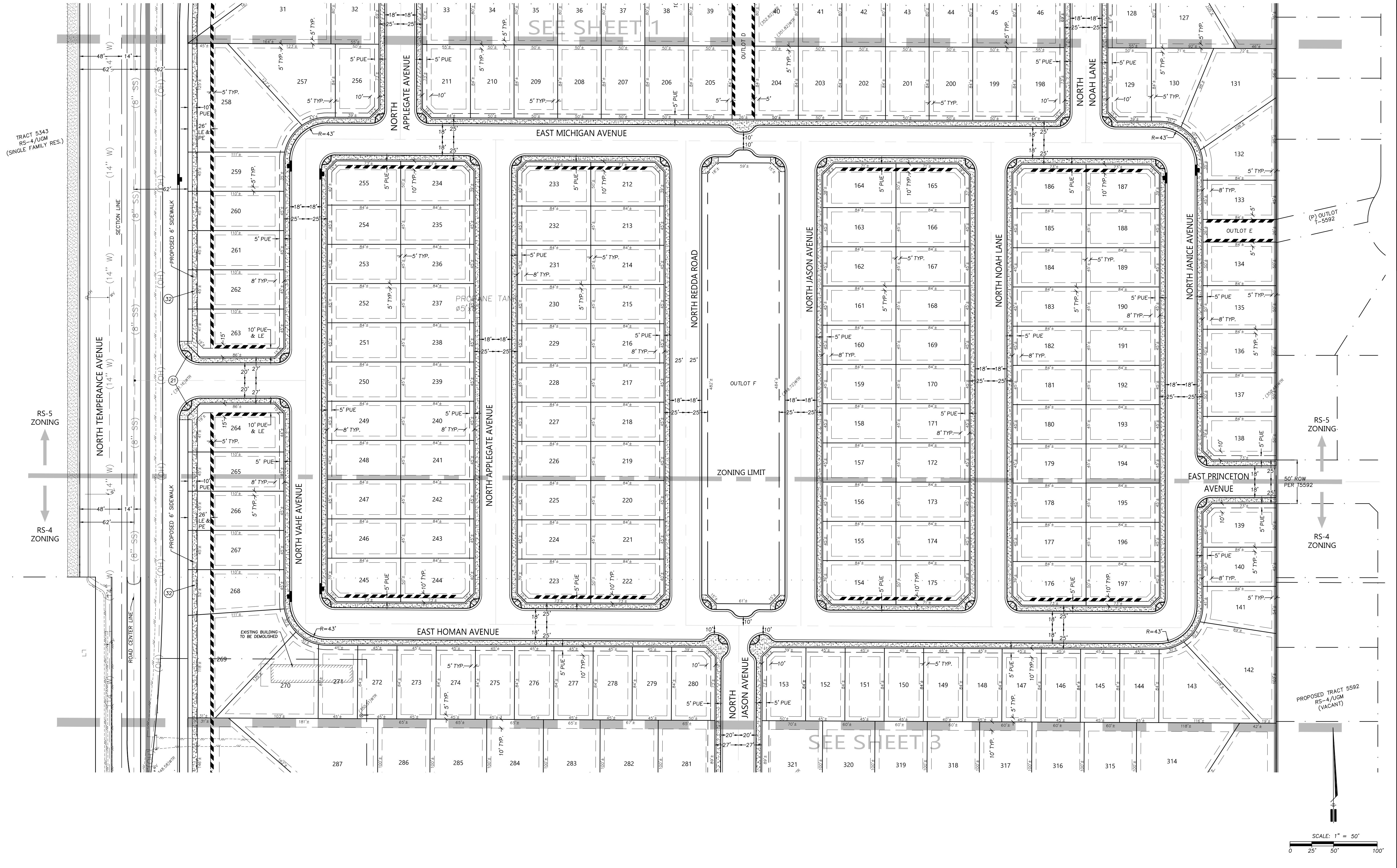
Date: 1/2/2019

Scale: As Noted

YH Job No. 18-187

Sheet No. 1

of 3 Sheets



LENNAR HOMES OF CALIFORNIA INC. RESIDENTIAL SITE PLAN REVIEW

INNER EAST SHIELDS AND NORTH TEMP
TRACT MAP. NO 6224

SHEET DESCRIPTION

. By: _____

WZ
AL
1/2/2019
as Noted

Job No.

O. 18-187

Set No.

2

1

1

ANSWER

NOTES:

1. CONTACT SOLID WASTE DIVISION FOR APPOINTMENT TO ESTABLISH ACCESS AND IMPROVEMENTS REQUIRED AS CONDITIONS OF PROVIDING DISPOSAL SERVICE. 621-6888
2. THE SANITARY SEWER SERVICES, WATER, GAS AND ANY OTHER UNDERGROUND SERVICE CONNECTIONS SHALL BE COMPLETED IN ALL AREAS TO BE PAVED PRIOR TO PLACEMENT OF ASPHALT CONCRETE ON SITE.
3. ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A PERSON LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF CALIFORNIA.
4. ALL SIGN PROPOSALS TO BE SUBMITTED TO PLANNING DEPARTMENT FOR SEPARATE SIGN REVIEW PRIOR TO INSTALLATION FOR VERIFICATION OF COMPLIANCE W/ ZONING ORDINANCES.
5. REPAIR ALL DAMAGED AND/OR OFF-GRADE CONCRETE STREET IMPROVEMENTS AS DETERMINED BY THE CITY OF FRESNO PUBLIC WORKS DEPARTMENT, CONSTRUCTION MANAGEMENT DIVISION. (559) 621-5000. PEDESTRIAN PATHS MUST ALSO MEET CURRENT ADA REGULATIONS.
6. TWO MEANS OF INGRESS/EGRESS MUST BE MAINTAINED DURING ALL PHASES OF DEVELOPMENT.
7. ANY UTILITIES REQUIRING RELOCATION SHALL BE THE RESPONSIBILITY AND AT THE EXPENSE OF THE DEVELOPER. FIRE HYDRANTS WILL BE RELOCATED BY CITY FORCES. DEVELOPER IS RESPONSIBLE TO NOTIFY CITY WATER DIVISION AT 621-5300 TO ARRANGE AND COORDINATE WORK.
8. NO USES OF LAND, BUILDING OR STRUCTURES OTHER THAN THOSE SPECIFICALLY APPROVED PURSUANT TO THIS SITE PLAN SHALL BE PERMITTED.
9. LANDSCAPING SHALL BE MAINTAINED IN GOOD HEALTH. TREES MAY NOT BE TRIMMED OR PRUNED TO REDUCE THE NATURAL HEIGHT OR OVERALL CROWN OF THE TREE, EXCEPT AS NECESSARY FOR THE HEALTH OF THE TREE AND PUBLIC SAFETY; OR AS MAY OTHERWISE BE APPROVED BY THE DEVELOPMENT DEPARTMENT.
10. TWO WORKING DAYS BEFORE COMMENCING EXCAVATION OPERATIONS WITHIN THE STREET RIGHT-OF-WAY AND/OR UTILITY EASEMENTS, ALL EXISTING UNDERGROUND FACILITIES SHALL HAVE BEEN LOCATED BY UNDERGROUND SERVICES ALERT (USA), CALL 811.
11. AS REQUIRED BY THE CALIFORNIA ADMINISTRATION CODE (TITLE 24), AN UNBLOCKED 4-FOOT MINIMUM PATH OF TRAVEL ALONG THE PUBLIC SIDEWALK WITHIN THE LIMITS OF THE PROPERTY IS PROVIDED.
12. RAMP AND SIDE SLOPES SHALL BE ROUGH BROOM FINISH PARALLEL TO GROOVING.
13. EACH CURB RAMP SHALL HAVE A DETECTABLE WARNING DEVICE AS PER PW STD. DWGS. P-32.
14. IF ARCHAEOLOGICAL AND/OR ANIMAL FOSSIL MATERIAL IS ENCOUNTERED DURING PROJECT SURVEYING, GRADING, EXCAVATING, OR CONSTRUCTION, WORK SHALL STOP IMMEDIATELY.
15. UNDERGROUND ALL EXISTING OFFSITE OVERHEAD UTILITIES WITHIN THE LIMITS OF THIS SITE/MAP AS PER FMC SECTION 15-411A.
16. INSTALL 30" STATE STANDARD "STOP" SIGN(S) AT LOCATION(S) SHOWN. SIGN SHALL BE MOUNTED ON A 2' GALVANIZED POST WITH THE BOTTOM OF THE SIGN 18" ABOVE GROUND, LOCATED BEHIND CURB AND IMMEDIATELY BEHIND MAJOR STREET SIDEWALK.
17. ALL FUTURE PROPOSED FENCES, HEDGES AND WALLS, ETC. SHALL BE REVIEWED AND APPROVED BY THE CITY OF FRESNO, PLANNING AND DEVELOPMENT DEPARTMENT PRIOR TO INSTALLATION.
18. IF ANIMAL FOSSILS ARE UNCOVERED, THE MUSEUM OF PALEONTOLOGY, U.C. BERKELEY SHALL BE CONTACTED TO OBTAIN A REFERRAL LIST OF RECOGNIZED PALEONTOLOGISTS. A PALEONTOLOGIST SHALL CONDUCT AN ASSESSMENT, AND IF THE PALEONTOLOGIST DETERMINES THE MATERIAL TO BE SIGNIFICANT, IT SHALL BE PRESERVED.
19. CONTACT PUBLIC WORKS DEPARTMENT, TRAFFIC ENGINEERING SERVICES 621-8807, 10 WORKING DAYS PRIOR TO ANY OFF-SITE CONCRETE CONSTRUCTION.
20. IF THERE ARE SUSPECTED HUMAN REMAINS, THE FRESNO COUNTY CORoner SHALL BE IMMEDIATELY CONTACTED. IF THE REMAINS OR OTHER ARCHAEOLOGICAL MATERIAL IS SUSPECTED TO BE OF HUMAN ORIGIN, THE NATIVE AMERICAN HERITAGE COMMISSION (PHONE: 916/653-4082) SHALL BE IMMEDIATELY CONTACTED, AND THE CALIFORNIA ARCHAEOLOGICAL INVENTORY/SOUTHERN SAN JOAQUIN VALLEY INFORMATION CENTER (PHONE: 805/644-2289) SHALL BE CONTACTED TO OBTAIN A REFERRAL LIST OF RECOGNIZED ARCHAEOLOGISTS. AN ARCHAEOLOGICAL ASSESSMENT SHALL BE CONDUCTED AND REPORT MADE TO THE CITY AS SOON AS POSSIBLY. RECORDS, AND RECOMMENDATIONS MADE TO THE CITY AS TO ANY FURTHER SITE INVESTIGATION OR SITE AVOIDANCE/PRESERVATION.
21. CONSTRUCT CONCRETE CURB RAMP TO PUBLIC WORKS STANDARD(S) P-28, P-29, P-30 OR P-31.
22. ALL CONSTRUCTION WORK ON THIS PROJECT IS SUBJECT TO INTERRUPTION IF THE ROAD SYSTEM BECOMES IMPASSABLE FOR FIRE APPARATUS DUE TO RAIN OR OTHER OBSTACLES. ALL REQUIRED FIRE ACCESS LANES SHALL BE PROVIDED AND MAINTAINED. THE ROAD SURFACE SHALL BE CAPABLE OF SUPPORTING 80,000 LB. VEHICLES (MINIMUM 4" OF DRY ROCK OVER COMPACTED OR UNDISTURBED SOIL OR APPROVED ENGINEERED PLANS) YEAR-ROUND AND WITH 24 FEET MINIMUM WIDTH OR OTHER APPROVED METHOD THAT WOULD PREVENT SHOULDER DEGRADATION.
23. APPROVAL OF THIS SPECIAL PERMIT MAY BECOME NULL AND VOID IN THE EVENT THAT DEVELOPMENT IS NOT COMPLETED IN ACCORDANCE WITH ALL THE CONDITIONS AND REQUIREMENTS IMPOSED ON THIS SPECIAL PERMIT, THE ZONING ORDINANCE, AND ALL PUBLIC WORKS STANDARDS AND SPECIFICATIONS. PLANS AND DRAWINGS SHALL BE ASSESS RECOMMENDED FOR ANY DELETIONS OR OMISSIONS RESULTING FROM THE SPECIAL PERMIT REVIEW PROCESS OR FOR ADDITIONS OR ALTERATIONS TO CONSTRUCTION PLAN NOT SPECIFICALLY SUBMITTED AND REVIEWED AND APPROVED PURSUANT TO THIS SPECIAL PERMIT OR SUBSEQUENT AMENDMENTS OR REVISIONS.
24. THE CONSTRUCTION OF ANY OVERHEAD, SURFACE OR SUB-SURFACE PIPELINES AND APPURTENANCES IN THE PUBLIC RIGHT OF WAY IS PROHIBITED UNLESS AN ENCRUSTMENT PERMIT IS APPROVED BY THE CITY OF FRESNO PUBLIC WORKS DEPARTMENT, TRAFFIC AND ENGINEERING SERVICES DIVISION (559) 621-8693. ENCRUSTMENT PERMITS MUST BE APPROVED PRIOR TO ISSUANCE OF BUILDING PERMITS.
25. PRIOR TO GRANTING OF FINAL OCCUPANCY, A WRITTEN CERTIFICATION, SIGNED BY A LANDSCAPE PROFESSIONAL APPROVED BY THE PLANNING, ARCHITECTURE, AND ENGINEERING DIVISION, SHALL BE SUBMITTED STATING THAT THE REQUIRED LANDSCAPING AND IRRIGATION SYSTEM HAVE BEEN INSTALLED IN ACCORDANCE WITH THE LANDSCAPING AND IRRIGATION PLANS APPROVED BY THE PLANNING DIVISION.
26. WALKWAYS CONNECTING ACCESSIBLE ENTRANCES AND OTHER FEATURES CANNOT SLOPE MORE THAN 5% IN THE DIRECTION OF TRAVEL NOR HAVE A CROSS SLOPES EXCEEDING 2%.
27. TRUNCATED DOMES TO BE PLACED ON THE FULL WIDTH AND ALL ON-SITE CURB RAMPS.
28. A HOLD ON OCCUPANCY SHALL BE PLACED ON THE PROPOSED DEVELOPMENT UNTIL SUCH TIME THAT LANDSCAPING HAS BEEN APPROVED AND VERIFIED FOR PROPER INSTALLATION BY THE PLANNING DIVISION.
29. CONSTRUCT FULL OFFSITE IMPROVEMENTS CURB, CUTTER, SIDEWALK, ETC.
30. INSTALL STREET LIGHTS ON ALL FRONTAGES TO CITY STANDARDS AS DETERMINED BY THE CITY TRAFFIC ENGINEER. STREET LIGHTING PLANS, ARE REQUIRED AND MUST BE APPROVED BY PUBLIC WORKS DEPARTMENT/ENGINEERING SERVICES PRIOR TO COMMENCEMENT OF WORK.
31. DESIGN AND CONSTRUCT CURB, GUTTER, AC PAVING, AND 10 FT PATTERN, TO PUBLIC WORKS STD. P-5. SUBMIT ENGINEERED STREET CONSTRUCTION PLANS TO PUBLIC WORKS DEPARTMENT.
32. DEDICATE 26' LE & PE, CONSTRUCT 6' SIDEWALK PER PW STD. P-51
33. MAXIMUM DESIGNATED LOT COVERAGE:
a. LOTS 1-128 (55%)
b. LOTS 129-280 (65%)
c. LOTS 281-349 (55%)



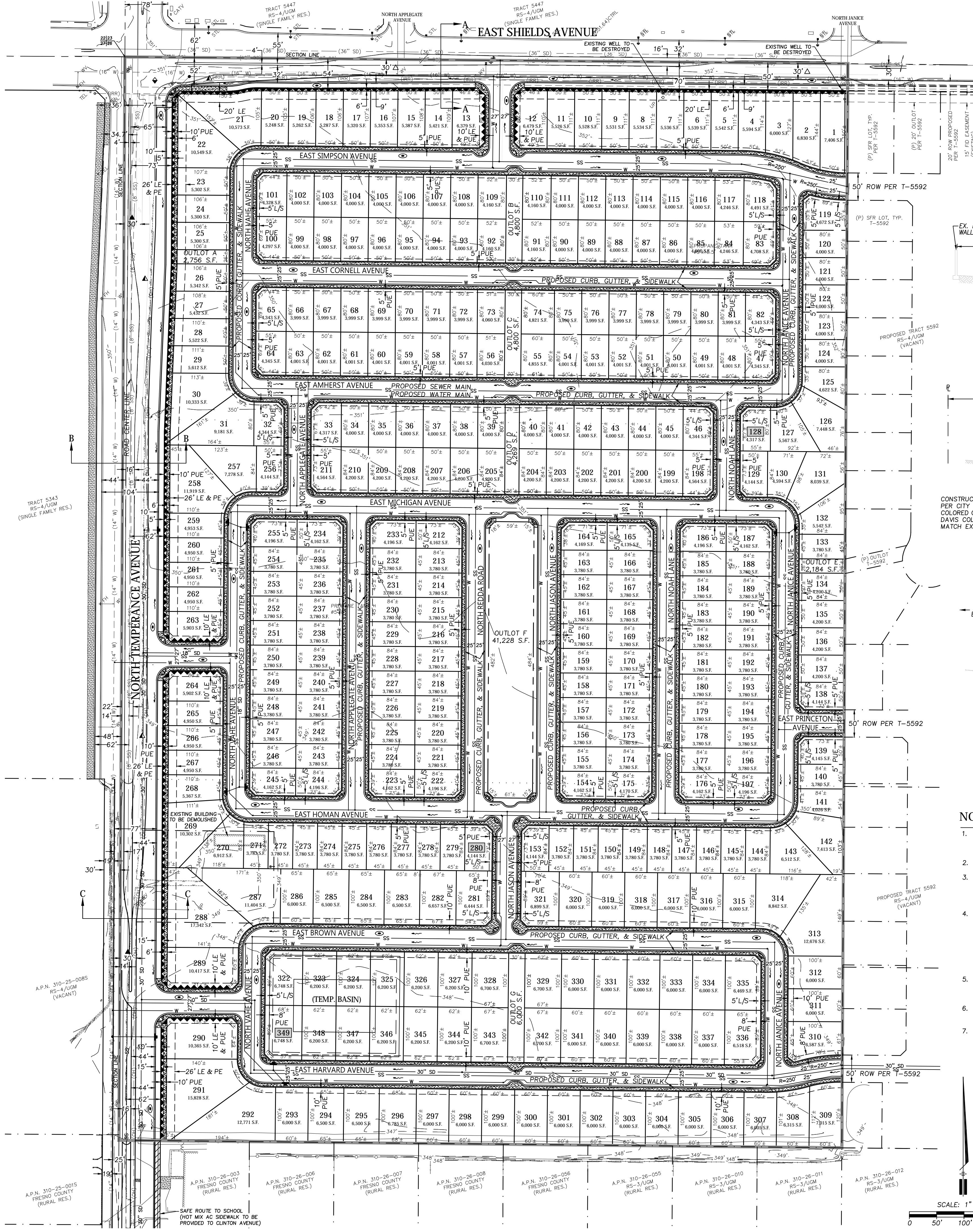
**VESTING
TENTATIVE SUBDIVISION MAP
OF
TRACT NO. 6224**
(A PLANNED DEVELOPMENT)
IN THE CITY OF FRESNO
FRESNO COUNTY, CALIFORNIA
SHEET ONE OF ONE

**Yamabe & Horn
Engineering, Inc.**

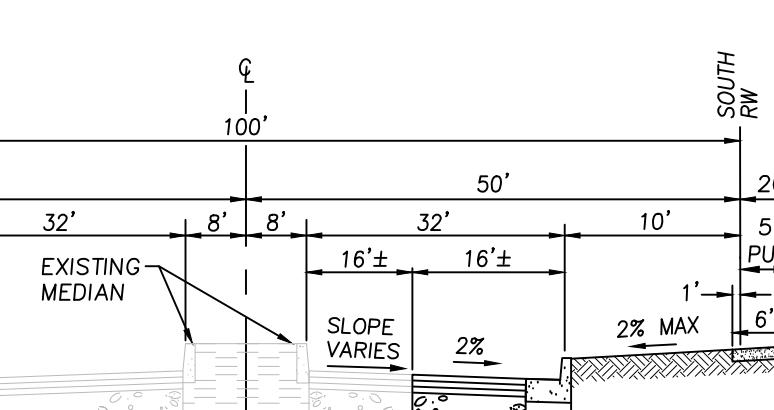
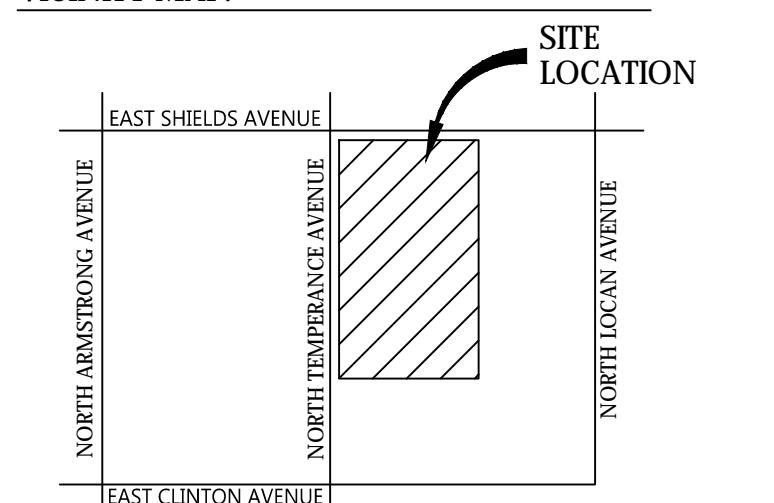
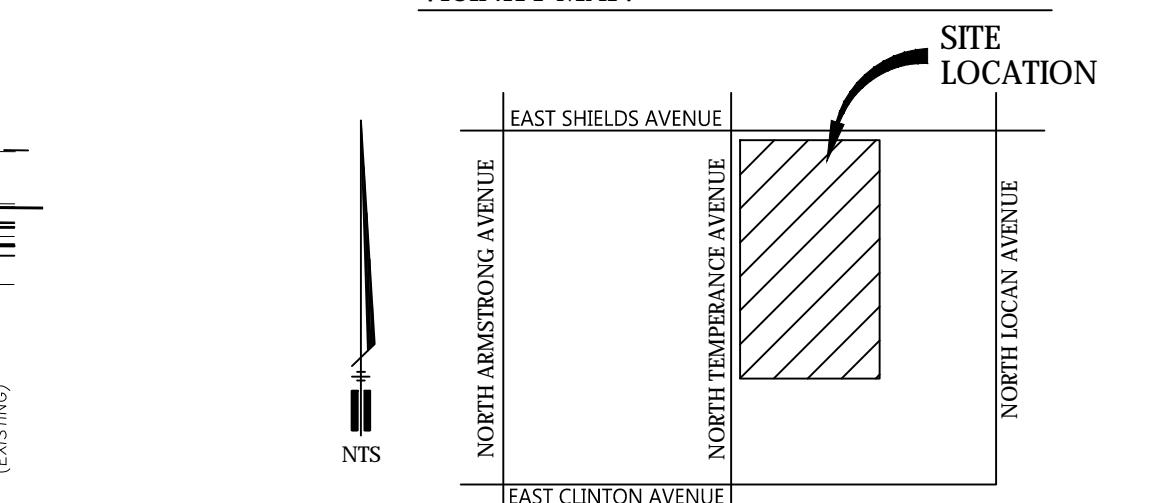
CIVIL ENGINEERS • LAND SURVEYORS

2985 N. BURL AVENUE SUITE 101 FRESNO, CA 93727

TEL: (559) 246-3723 WEBSITE: YAHENG.COM

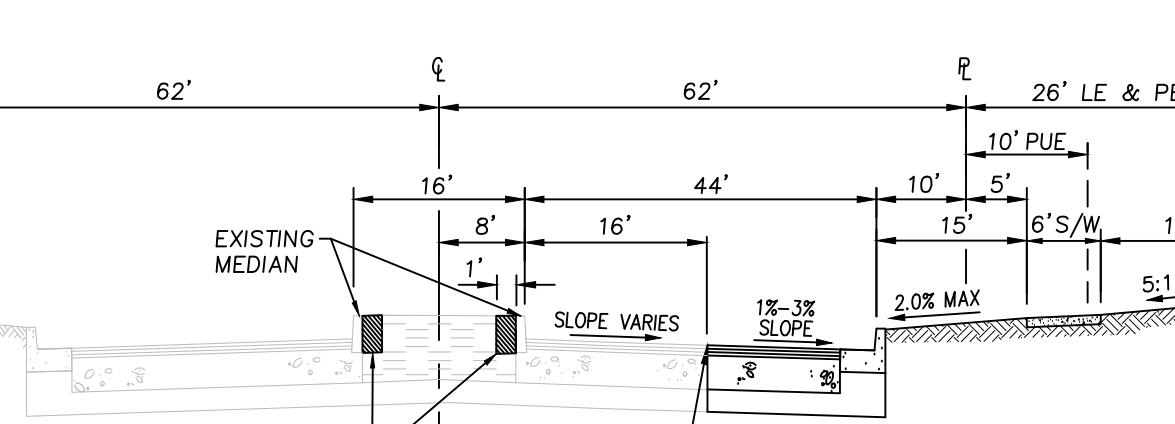


VICINITY MAP:



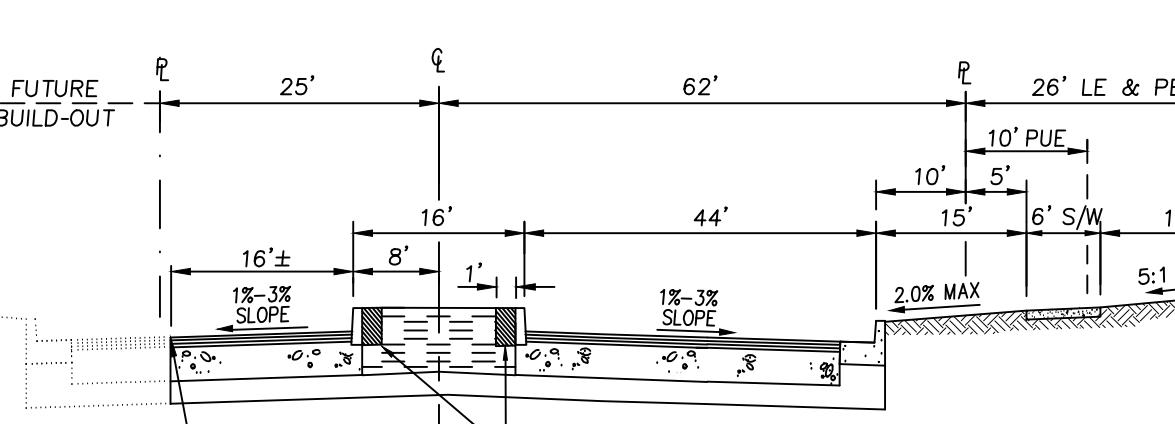
SECTION A-A
EAST SHIELDS AVENUE

NOT TO SCALE



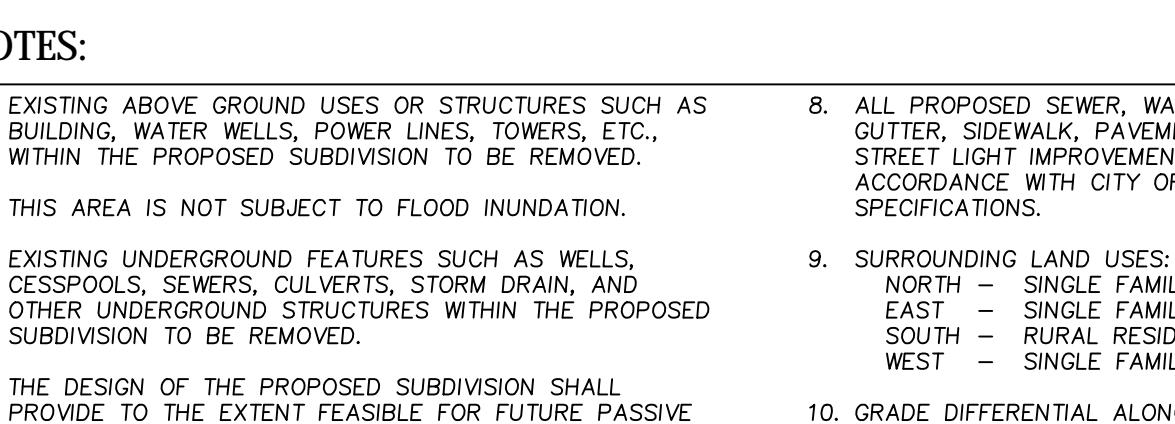
SECTION B-B
NORTH TEMPERANCE AVENUE

NOT TO SCALE



SECTION C-C
NORTH TEMPERANCE AVENUE

NOT TO SCALE



NOTES:

- EXISTING ABOVE GROUND USES OR STRUCTURES SUCH AS BUILDING, WATER WELLS, POWER LINES, TOWERS, ETC., WITHIN THE PROPOSED SUBDIVISION BE REMOVED.
- THIS AREA IS NOT SUBJECT TO FLOOD INUNDATION.
- EXISTING UNDERGROUND FEATURES SUCH AS WELLS, CESSPOOLS, SEWERS, CULVERTS, STORM DRAIN, AND OTHER UNDERGROUND STRUCTURES WITHIN THE PROPOSED SUBDIVISION TO BE REMOVED.
- THE DESIGN OF THE PROPOSED SUBDIVISION SHALL PROVIDE TO THE EXTENT FEASIBLE FOR FUTURE PASSIVE OR NATURAL HEATING OR COOLING OPPORTUNITIES AND OTHER MEASURES TO CONSERVE NON-RENEWABLE ENERGY RESOURCES. THIS SUBDIVISION HAS BEEN DESIGNED WITH 58% OF THE LOTS ORIENTED IN A NORTH TO SOUTH ORIENTATION TO TAKE ADVANTAGE OF NATURAL HEATING AND COOLING OPPORTUNITIES.
- ALL STREETS ADJACENT TO THE BOUNDARIES OF THIS SUBDIVISION HAVE BEEN PREVIOUSLY DEDICATED FOR PUBLIC STREET PURPOSES AND ALL ARE TO REMAIN.
- GOW No. 99 FRESNO IRRIGATION PIPELINE TO BE RELOCATED TO ULTIMATE LOCATION PRIOR TO PROJECT BUILD-OUT.
- THIS SITE IS IN FLOOD ZONE "X" AND IS NOT FLOOD PRONE, SEE THE FLOOD INSURANCE RATE MAPS.

LOT INFO:

TOTAL	MIN. WIDTH	AREA	LOTS #'
128	50x80 FT.	RS-5	1-128
152	45x85 FT.	RS-4/RS-5	129-280
69	60x100 FT.	RS-4	281-349
349 TOTAL LOTS			

* RS-5 LOTS LESS THAN 4,000 SQ-FT ARE ACCEPTABLE PER PLANNED DEVELOPMENT PERMIT PER ARTICLE 59 OF CHAPTER 15 OF THE FMC.

LOTS: 133, 157-163, 166-173, 179-185, 188-194, 213-219, 226-232, 235-241, & 248-254

* RS-4 LOTS LESS THAN 5,000 SQ-FT ARE ACCEPTABLE PER PLANNED DEVELOPMENT PERMIT PER ARTICLE 59 OF CHAPTER 15 OF THE FMC.

LOTS: 139-156, 172-178, 195-197, 220-225, 242-247, & 266-280

SCALE: 1" = 100'

EXISTING TREES
TO BE REMOVED

EXISTING BUILDINGS
APN: 310-26-002 EXISTING STRUCTURE

EXISTING USE
AG

EXISTING ZONING
AE-20 (FRESNO COUNTY)

PROPOSED USE
SPF

PROPOSED ZONING
RS-5/EA/UGM RS-4/EA/UGM

SOURCE OF WATER
CITY OF FRESNO

SOURCE OF SEWAGE DISPOSAL
CITY OF FRESNO

SOURCE OF ELECTRICITY
PG&E

SOURCE OF GAS
PG&E

SOURCE OF CABLE T.V.
COMCAST

SOURCE OF TELEPHONE
AT&T

ASSESSOR'S PARCEL NUMBER
310-26-001 & 310-26-002

SITE AREA
GROSS: 57 ACRES, MORE OR LESS
NET: 54 ACRES, MORE OR LESS

LENNAR HOMES OF CALIFORNIA INC.
VESTING TENTATIVE TRACT MAP (A PLANNED DEVELOPMENT)
TRACT MAP. NO. 6224

PROJECT TITLE: LENNAR HOMES OF CALIFORNIA INC.

SHEET DESCRIPTION: VESTING TENTATIVE TRACT MAP (A PLANNED DEVELOPMENT)

Dr. By: ER. WZ

Ch. By: BB

Date: 12/10/2018

Scale: As Noted

YH Job No. 18-187

Sheet No. 1

of 1 Sheets

