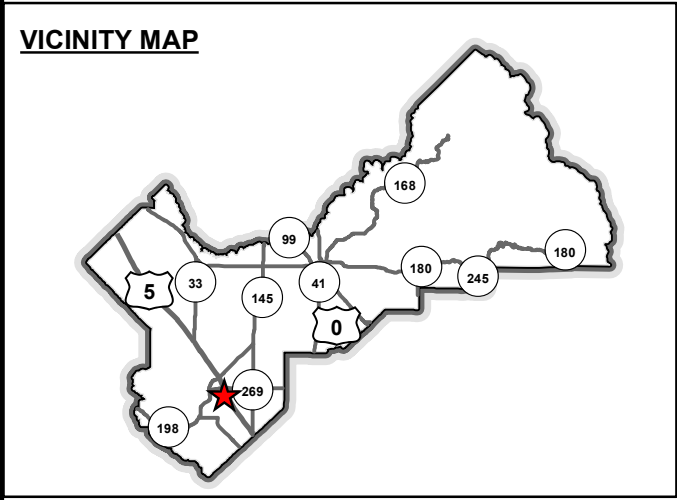
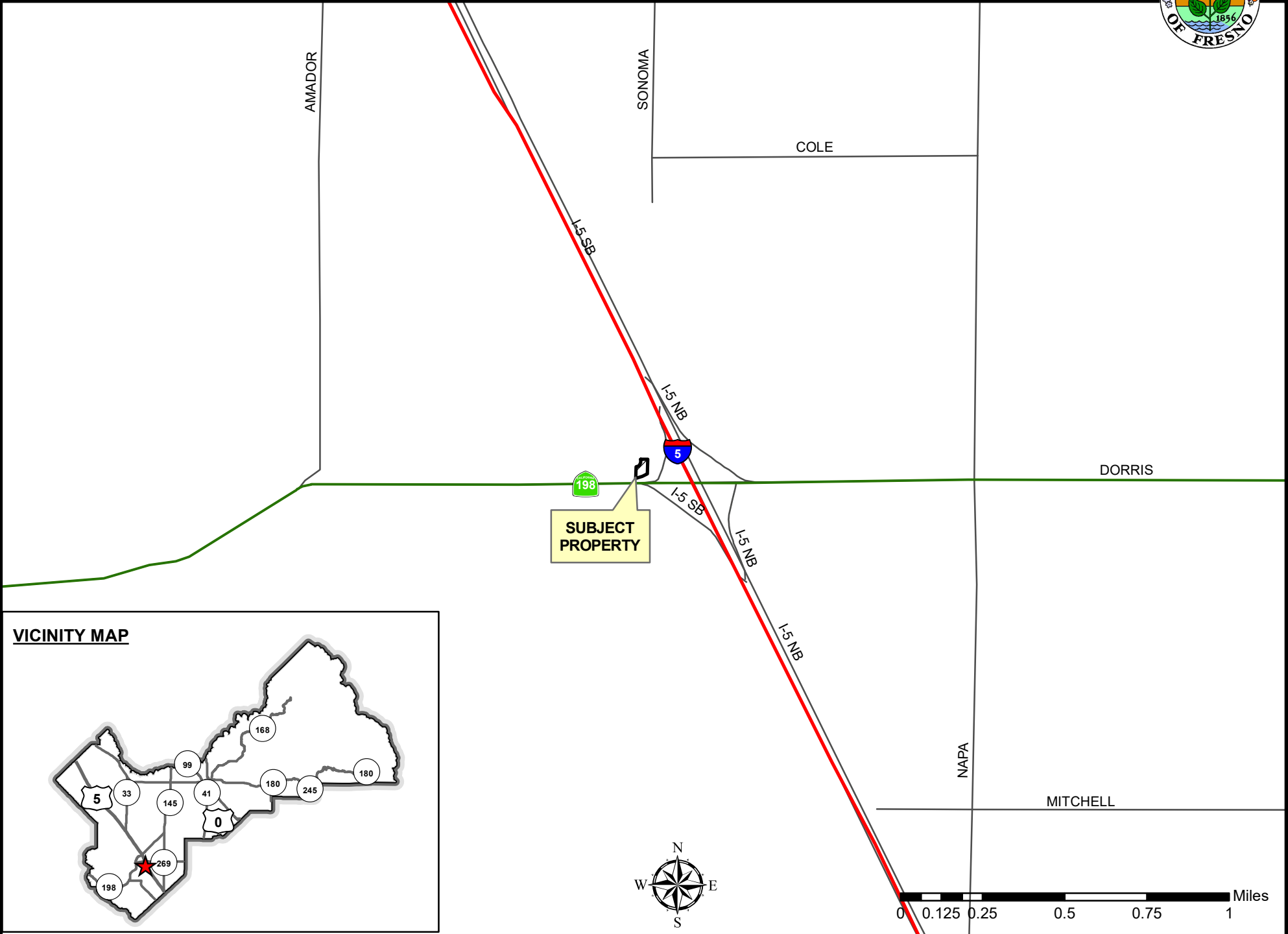
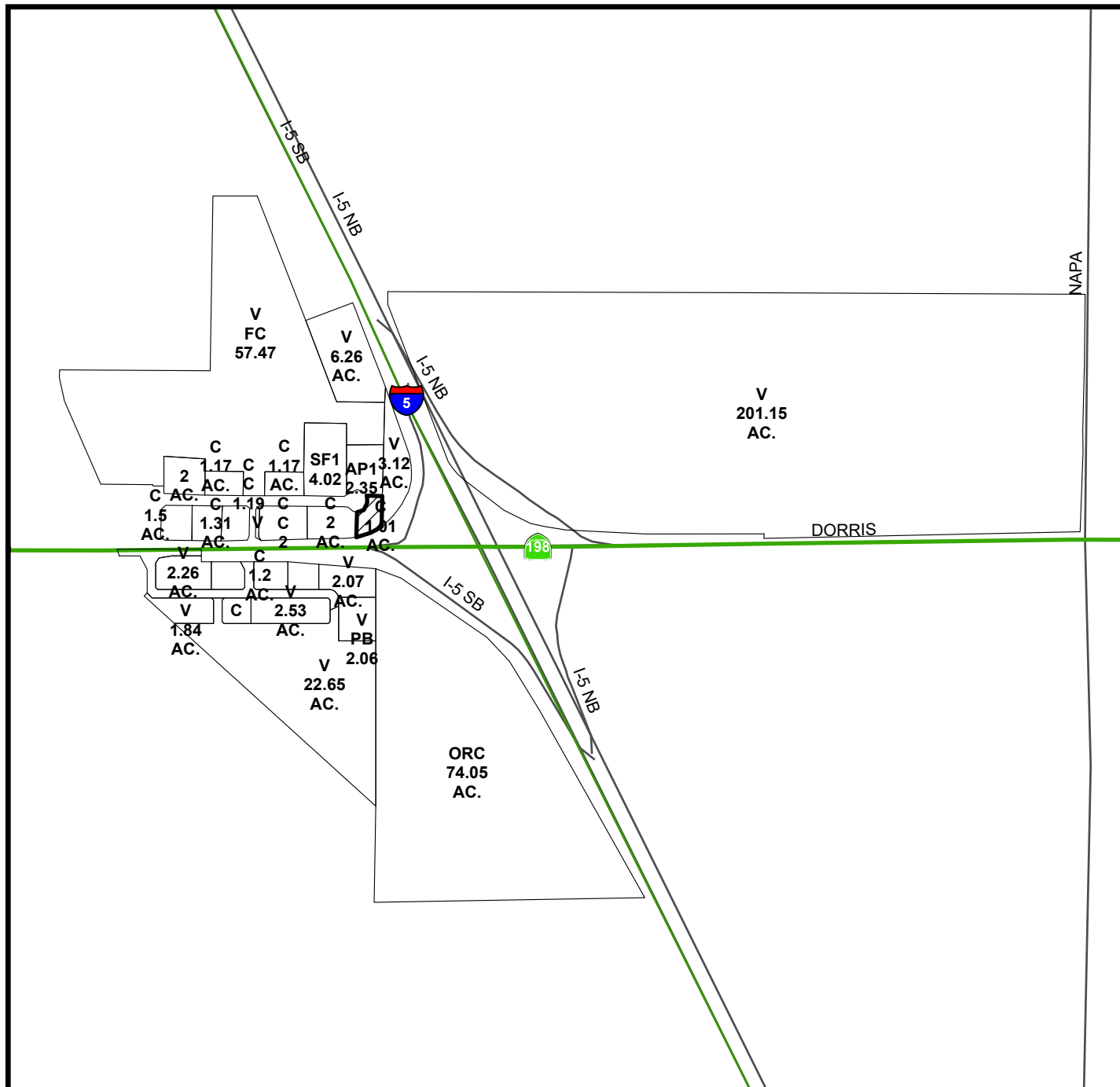


LOCATION MAP



EXISTING LAND USE MAP



LEGEND	
ORC - ORCHARD	
AP1 - APARTMENT	
C - COMMERCIAL	
FC - FIELD CROP	
PONDING BASIN	
SF# - SINGLE FAMILY RESIDENCE	
V - VACANT	

LEGEND:

 Subject Property



0 287.5 575 1,150 1,725 2,300 Feet

Department of Public Works and Planning
Development Services Division

PROJECT INFORMATION	
---------------------	--

PROJECT DESCRIPTION:	A PROPOSED 1-5 GAS STATION AND CONVENIENCE STORE
DESCRIPTION:	DEVELOPMENT OF NEW GAS STATION AND CONVENIENCE STORE. THE PROJECT INVOLVES CONSTRUCTION OF GAS STATION WITH CONVENIENCE RETAIL STORE AND FAST FOOD STORES, FUEL PUMP CANOPY WITH GASOLINE DISPENSING ISLANDS ON A 101 ACRE PROPERTY WITHIN THE AE-40 EXCLUSIVE AGRICULTURAL ZONE LOCATED AT 25014 WEST DORRIS AVE. COALINGA, CA. THE SUBJECT PROPERTY IS LOCATED AT NORTHWEST CORNER OF CALIFORNIA STATE HIGHWAY AND CALIFORNIA INTERSTATE 5, APPROX. 7.82 MILES NORTHEAST OF THE CITY OF COALINGA AND IS FURTHER IDENTIFIED AS ASSESSOR'S PARCEL NUMBER 065-260-27S. (SUP. DIST. NO. 4)
OCCUPANCY GROUP:	COMMERCIAL (C-4)
PERMIT:	UNCLASSIFIED CONDITIONAL USE PERMIT (CUP)
BUILDING JURISDICTION:	CITY OF FRESNO, CALIFORNIA
REQUIRED SETBACKS:	35 FT (FRONT) 20 FT (SIDES) 20 FT (REAR)

[illegible]

PLOT SITE AREA :	43,975 SQ. FT (101 ACRES)
USABLE AREA :	13.51% – 5,942 SQ. FT
SETBACK AREA :	8,628 SQ.FT.
DEDICATED AREA (INGRESS / EGRESS) :	14,623 SQ.FT.
EXISTING BUILDING AREA :	4,295 SQ.FT.
PROPOSED BLDG. AREA (COMMERCIAL & GAS STATION)	11,211 SQ.FT.
PAVED AREA	30,951 SQ.FT.
LANDSCAPE AREA :	6,506 SQ.FT.

PARKING CALCULATIONS

PARKING LOT PROVIDED	19 SLOTS; 1 ADA SLOT; 1 SLOT FOR DELIVERY TRUCK
MOTORCYCLE PARKING LOT PROVIDED	3 PARKING LOTS

PROPOSED BUILDING AREAS

COMMERCIAL BUILDING AREA	5,942 SQ. FT.
GAS STATION AREA	5,269 SQ. FT.
TOTAL AREA	11,211 SQ. FT.

PARKING REQUIREMENTS

MUNICIPALITY CODE OF THE CITY OF FRESNO, CALIFORNIA
SEC.15-2408: REQUIRED ON-SITE PARKING SPACES, MIXED - USE DISTRICTS AND CMS DISTRICT (TABLE 15-2408)
NON RESIDENTIAL

RETAIL	1 SPACE FOR 600 SQ. FT.
RESTAURANT	1 SPACE FOR 600 SQ. FT.
OTHER COMMERCIAL USES	1 SPACE FOR 600 SQ. FT.

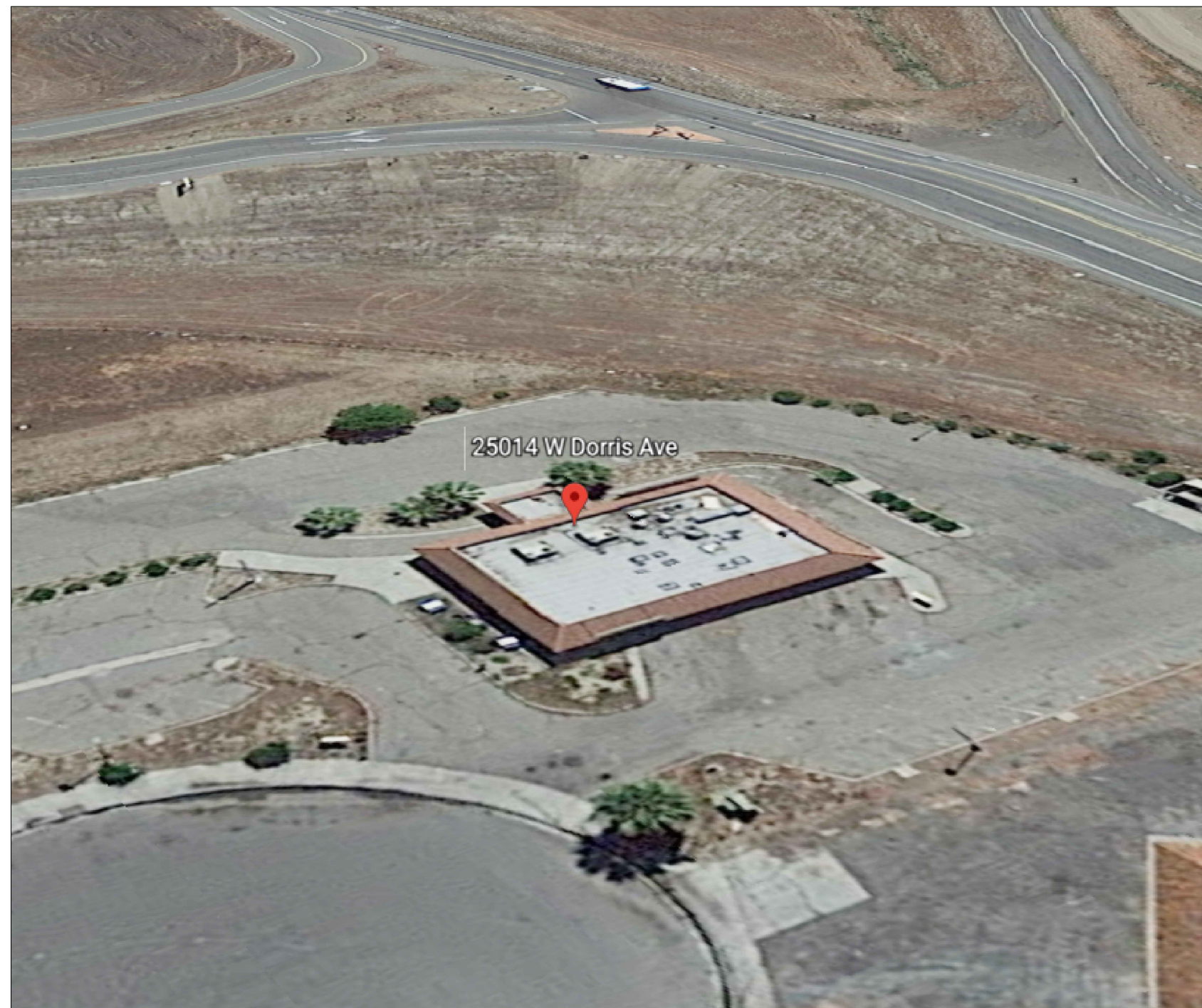
SEC.15-2416.: PARKING AREA DEVELOPMENT STANDARDS

C. MOTORCYCLE PARKING	

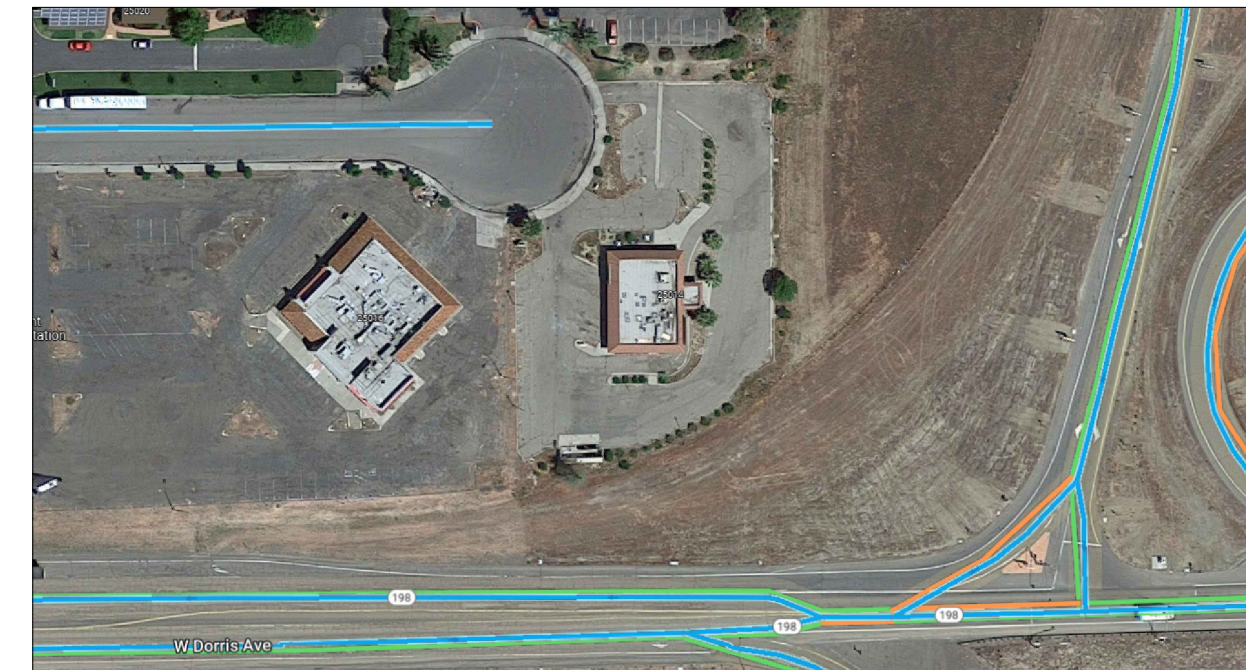
MOTORCYCLE PARKING	5% REQUIRED OF AUTOMOBILE PARKING
--------------------	-----------------------------------



1 PERSPECTIVE
A1.00 SCALE: N T S



2 SITE CONDITIONS



3 **VICINITY MAP**
A1.00 SCALE: N T S **APN: 058-030-060-000**

A1.00 SCALE: N T S **APN: 058-030-060-000**

SHT. NO.	SHEET CONTENT
A1.00	COVER PAGE
A1.01	MASTER PLAN
A2.00	PERSPECTIVES
A2.01	PERSPECTIVES
A3.00	SITE DEVELOPMENT PLAN WITH EXISITING STRUCTURE & UTILITIES
A4.00	SITE DEVELOPMENT PLAN
A5.00	FLOOR PLAN
A6.00	FRONT ELEVATION AND REAR ELEVATION
A6.01	RIGHT-SIDE ELEVATION AND LEFT-SIDE ELEVATION
A7.00	MATERIAL BOARD
L1.00	COMPOSITE LANDSCAPE PLAN
L2.00	LANDDSCAPE PLANT LEGEND AND DETAILS
L3.00	IRRIGATION PLAN
C1.00	PRELIMINARY STORM DRAINAGE LAYOUT
C2.00	ADS STORMTECH DATA SHEET
C3.00	ADS STORMTECH TECHNICAL SPECIFICATIONS



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**A PROPOSED I-5 GAS STATION AND
CONVENIENCE STORE**
25014 W. DORRIS AVE., COALINGA, CA

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Revision By	AP	Drawn By	AP

A1.00



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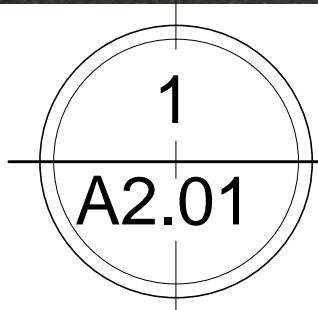
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A2.00



PERSPECTIVE 1



PERSPECTIVE 2



PERSPECTIVE 3



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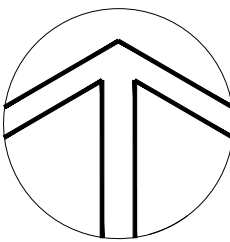
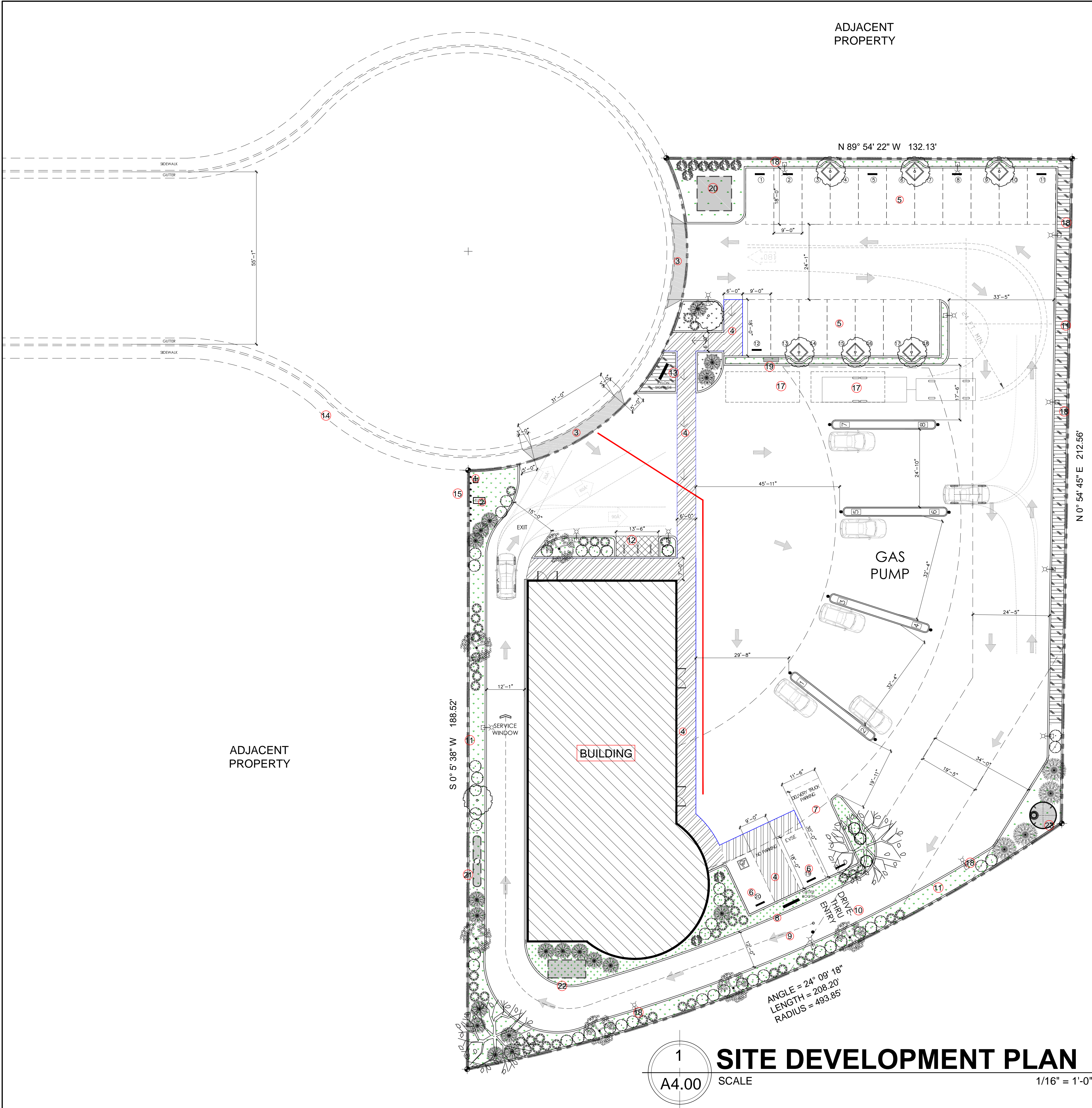
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A2.01



KEYNOTES

- (E) WATER METER.
- (E) ELECTRIC METER.
- (N) DRIVEWAY APPROACH AS PER CITY STD P-1, P-2, P-3, P-4.
- (N) ACCESS AISLE / ADA PATHWAY / PEDESTRIAN ACCESS.
- (N) 20 PARKING SLOTS INCLUDING ADA A/PARKING SLOTS.
- (N) ADA PARKING SLOTS
- (N) DELIVERY TRUCK PARKING AREA.
- (N) RESTAURANT ORDER BOOTH.
- (N) RESERVOIR SPACE FOR DRIVE THRU AT 190' LONG.
- (N) DRIVE THRU ENTRY AREA.
- (N) LANDSCAPE AREA.
- (N) MOTORBIKE PARKING SLOTS.
- (N) PYLON SIGNAGE.
- (E) CURB, GUTTER & SIDEWALK.
- (E) EXISTING BOLLARDS
- (N) SURFACE PAVEMENT AS PER CITY STD. P-41
- (N) PROPOSED LOCATION OF UNDERGROUND OIL TANK AND PARKING AREA OF OIL TANKER.
- (N) LIGHT POST LOCATIONS.
- (N) WATER & AIR PUMP.
- (N) TRASH ENCLOSURE.
- (N) PROPANE TANK.
- (N) SEPTIC TANK.
- (N) WATER TANK.

PROJECT DATA	
PROJECT SITE AREA	43,795 SF (101 ACRES)
USABLE AREA	20,544 SF
SETBACK AREA	8,628 SF
DEDICATED AREA (INGRESS & EGRESS)	14,623 SF
EXISTING BLDG. AREA	4,295 SF
PROPOSED BLDG. AREA (COMMERCIAL & GAS STATION)	11,211 SF
PAVED AREA	26,078 SF
LANDSCAPE AREA	6,506 SF
PARKING AREA REQUIREMENTS	
PARKING LOTS PROVIDED	19 SLOTS ; 1 ADA SLOT ; 1 SLOT FOR DELIVERY TRUCK
PARKING LOTS REQUIRED	19 SLOTS ; 1 ADA SLOT
MOTORCYCLE PARKING LOTS REQUIRED	5% OF REQUIRED PARKING LOTS; 1 PARKING LOT
MOTORCYCLE PARKING LOTS PROVIDED	3 PARKING LOTS

PROPOSED BUILDING AREAS

COMMERCIAL BLDG. AREA	=	5,942 SF
GAS STATION AREA	=	5,269 SF
		11,211 SF

PARKING SLOTS FOR NON-RESIDENTIAL

ALL OTHER COMMERCIAL USES	=	1 SPACE PER 600 SF
ACCESSIBLE (ADA) PARKING SLOTS	=	1 SPACE PER 40 PARKING SLOTS

DRAWING LEGEND

PEDESTRIAN WAY	→
PROPOSED CAR STALLS	---
FIRE LANE	---
BUILDING AREA	▨
ACCESSIBLE AISLE	▨
LIGHT POST	⊕



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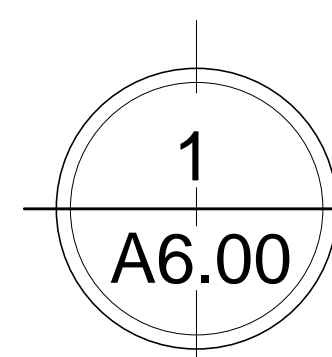
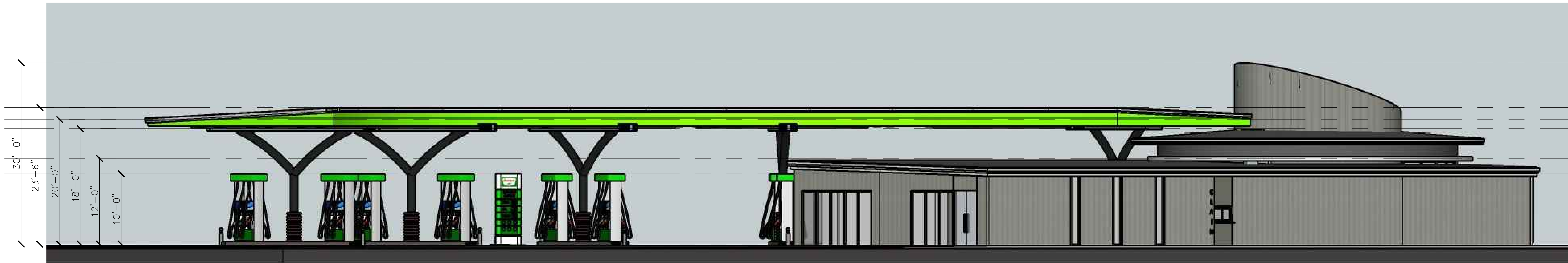
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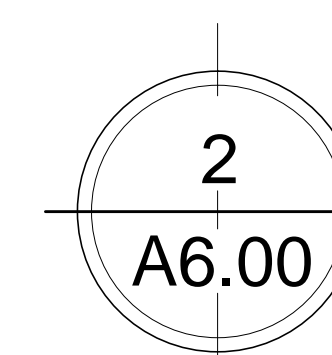
A4.00



FRONT ELEVATION

A6.00 SCALE

NTS



REAR ELEVATION

A6.00 SCALE

NTS



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		KC

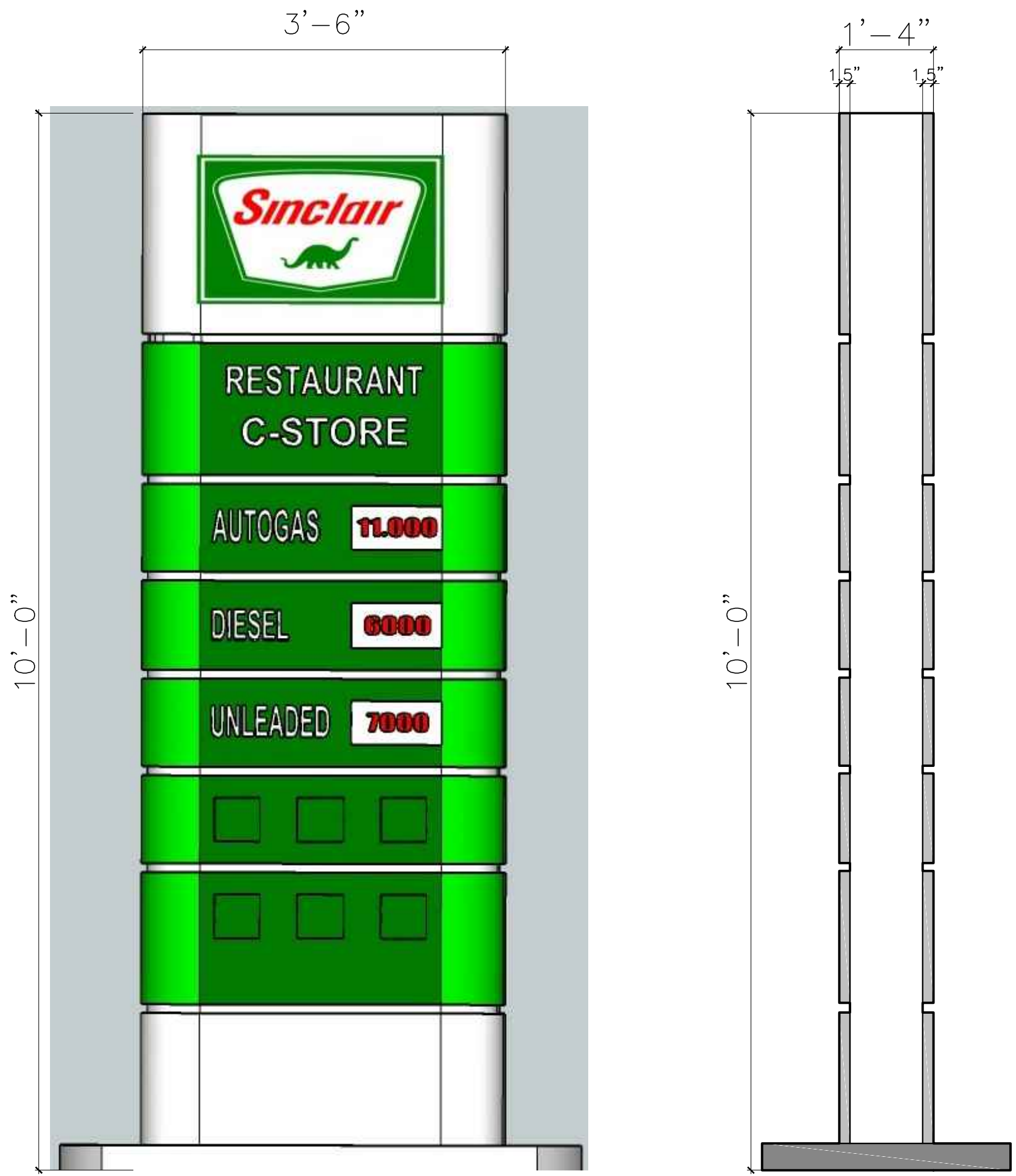
A6.00



1
A6.01
RIGHT-SIDE ELEVATION
SCALE NTS



2
A6.01
LEFT-SIDE ELEVATION
SCALE NTS



3
A6.01
SIGNAGE ELEVATION
SCALE NTS



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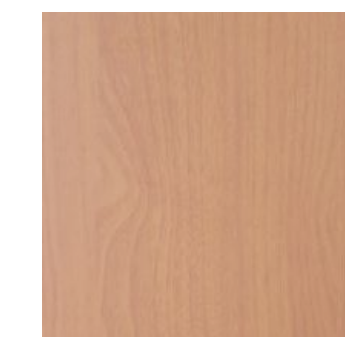


MATERIAL AND FINISHES

- ① POWDER COATED ALUMINIUM SEGMENTED CURTAIN WALL SYSTEM (RAL 7010)
- ② GREY GLOSSY PAINT WALL FINISH
- ③ INSULATED METAL PANEL WITH PUR FOAM CORE (REGAL GREY COLOUR)
- ④ METAL CEILING PANEL (WOOD FINISH)
- ⑤ OUTDOOR LED PIN LIGHT (TYP.)
- ⑥ METAL CEILING PANEL (BEIGE STRIPE FINISH)
- ⑦ INSULATED METAL PANEL WITH PUR FOAM CORE (REGAL GREY COLOUR)
- ⑧ PVDF COATED STEEL FINISH (RAL 7039 CHARCOAL GREY)
- ⑨ CONCRETE LANDSCAPE CURB
- ⑩ ALUMINIUM FRAME DOUBLE SWING TEMPERED GLASS DOOR
- ⑪ ALUMINIUM COMPOSITE PANEL (DARK BRONZE FINISH)
- ⑫ PVDF COATED STEEL FINISH (RAL 7046 GREY COLOUR)
- ⑬ POWDER COATED ALUMINIUM CURTAIN WALL (RAL 7010)
- ⑭ LED LIGHTING STRIP (NEON GREEN COLOUR)
- ⑮ AC PAVEMENT
- ⑯ POWDER COATED GALVANIZED METAL GUTTER (BLACK COLOUR)



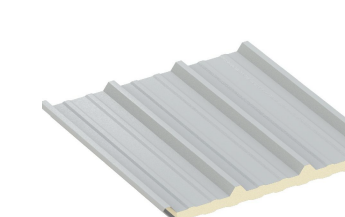
POWDER COATED
ALUMINIUM SEGMENTED
CURTAIN WALL SYSTEM
(RAL 7010)



METAL CEILING PANEL
(WOOD FINISH)



METAL CEILING PANEL
(BEIGE STRIPE FINISH)



INSULATED METAL PANEL
WITH PUR FOAM CORE
(REGAL GREY COLOUR)



PVDF COATED
STEEL FINISH
(RAL 7046 GREY
COLOUR)



PVDF COATED
STEEL FINISH
(RAL 7039
CHARCOAL GREY)



ALUMINIUM
COMPOSITE
PANEL (DARK
BRONZE FINISH)

1
A7.00
KEY ELEVATION
SCALE: N T S



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